

MAP REFERENCES:

- "SURVEY & MAP SUBDIVISION-LANDS OF JACK & JOANNE MANGIARACINA, 122 TOLEMAN ROAD, TOWN OF NEW WINDSOR, NY" DATED AUGUST 11, 1998, FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DEC. 3, 1998 AS MAP NO. 236-98.
- AERIAL TOPOGRAPHY PROVIDED BY ROBINSON AERIAL SURVEYS, INC., FLOWN 4/15/96, GROUND CONTROL SURVEY PROVIDED BY JM ROBERT, PLS, COMPLETED 6/10/2002.
- MAP ENTITLED 2 LOT SUBDIVISION FOR MANGIARACINA FILED IN THE ORANGE COUNTY CLERK'S OFFICE, ON 9/10/03 AS FM# 425-03, SURVEYOR OF RECORD BEING JM ROBERT, PLS.

RECORD OWNER'S CONSENT NOTE:

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON STATE THAT THEY ARE FAMILIAR WITH THIS PLAN, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON AND TO THE FILING OF THIS PLAN IN THE OFFICE OF THE CLERK OF THE COUNTY OF ORANGE, IF SO REQUIRED.

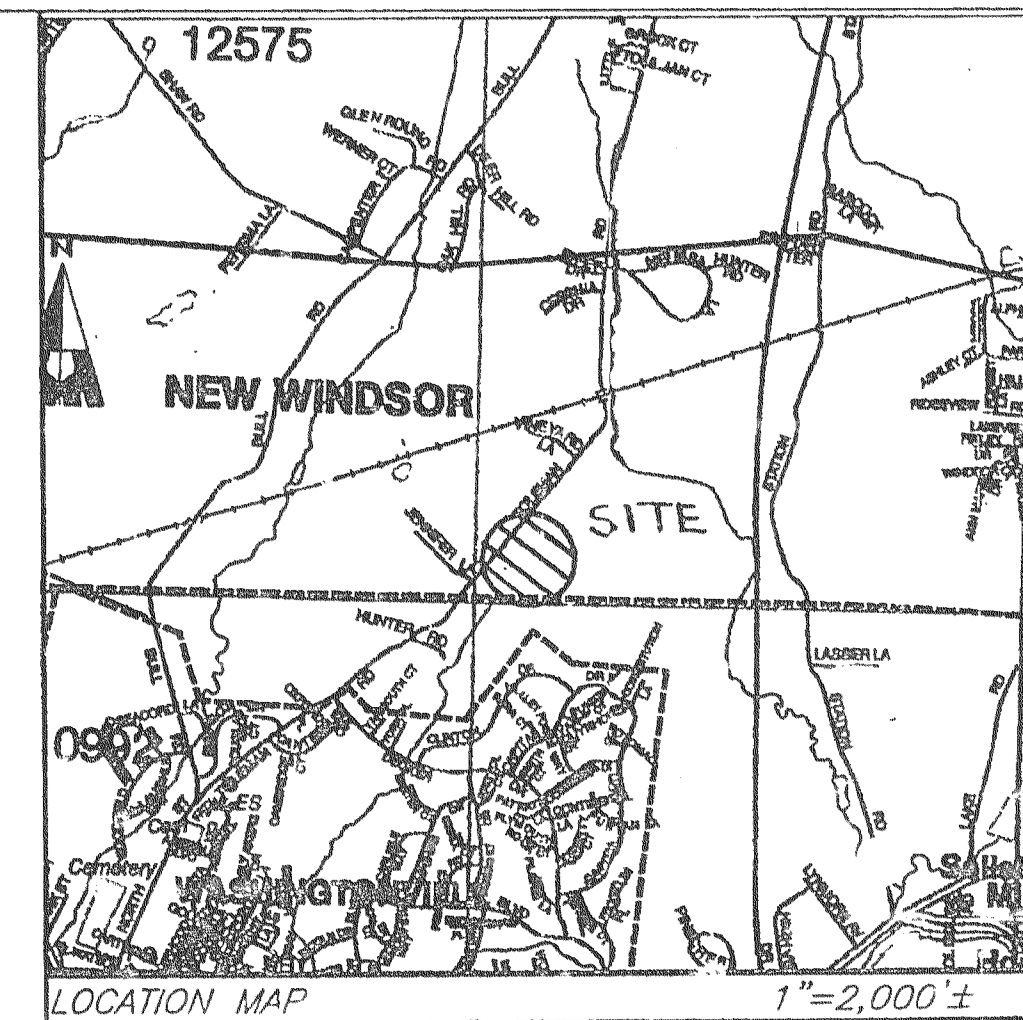
SIGNATURE

JOANN MANGIARACINA
156 TOLEMAN RD.
WASHINGTONVILLE, NY 10992

CERTIFICATION:

I HEREBY CERTIFY TO THE PARTIES OF INTEREST LISTED BELOW THAT THIS MAP SHOWS THE RESULTS OF AN ACTUAL SURVEY COMPLETED ON 12/30/08.

- JOANN MANGIARACINA
- TOWN OF NEW WINDSOR



ZONING SCHEDULE

ZONE: R-3 SUBURBAN RESIDENTIAL

	REQUIRED	LOT# 1 PROVIDED	LOT# 2 PROVIDED	LOT# 3 PROVIDED	LOT# 4 PROVIDED
MINIMUM LOT SIZE	80,000 sf.	558,708 sf.	88,594 sf.	129,354 sf.	645,679 sf.
AREA GROSS	45,000 sf.	251,718 sf.	83,729 sf.	106,145 sf.	131,463 sf.
AREA NET**	175'	175.0'	175.0'	175.0'	184.4'
WIDTH	70'	175.0'	175.0'	175.0'	180.8'
STREET FRONTAGE	45'	92'±	222'±	255'±	289'±
MINIMUM BUILDING SETBACKS					
FRONT	45'	92'±	222'±	255'±	289'±
REAR	50'	697'±	377'±	178'±	1126'±
SIDE	40'	65'±	52'±	53'±	48'±
BOTH SIDES	80'	430'±	109'±	109'±	175'±
MAXIMUM BUILDING HEIGHT	35'	35' max.	35' max.	35' max.	35' max.
MINIMUM LIVABLE FLOOR AREA	1,200sf	1,200sf min.	1,200sf min.	1,200sf min.	1,200sf min.
DEVELOPMENT COVERAGE	20% MAX	20.3 MAX	20% MAX	20% MAX	20% MAX
ACCESSORY BUILDING					
SIDE SETBACK	10'	N/A	N/A	N/A	5'±
REAR SETBACK	15'	N/A	N/A	N/A	5'±
BUILDING HEIGHT		N/A	N/A	N/A	37.3'±

* VARIANCE GRANTED 10/22/07

** PER SECTION 300-89-B

LOT AREA (NET) - THE TOTAL HORIZONTAL AREA INCLUDED WITHIN THE PROPERTY LINES OF A LOT (AS CALCULATED BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW YORK), BUT SPECIFICALLY EXCLUDING AREAS OF THE LOT COVERED BY EASEMENTS, RIGHT-OF-WAYS, ENCUMBRANCES, DESIGNATED NEW YORK STATE FRESHWATER WETLANDS (NOT INCLUDING BUFFER AREAS), FEDERAL WETLANDS, OR AREAS OTHERWISE PRECLUDED FROM DEVELOPMENT. FOR ZONING AND SUBDIVISION COMPLIANCE, ALL LOTS SHALL BE REQUIRED TO HAVE A MINIMUM NET LOT AREA WITH A VALUE EQUAL TO OR EXCEEDING 60% OF THE REQUIRED GROSS LOT AREA.

GENERAL NOTES:

- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- SUBJECT TO UNDERGROUND UTILITIES AND EASEMENTS NOT RECORDED AND/OR NOT VISIBLE AT THE TIME OF FIELD SURVEY.
- OFFSETS SHOWN HEREON ARE CORRECTED, HOWEVER, THEY SHOULD NOT BE USED AS A BASIS FOR ERECTION OF FENCES OR OTHER STRUCTURES.
- PROPERTY SNOW AND ICE COVERED AT THE TIME OF SURVEY.

LOT INFORMATION

TAX MAP # 56-1-56
LOT SIZE 32.65± ACRES
SCHOOL DISTRICT WASHINGTONVILLE
OWNER & APPLICANT
JOAN MANGIARACINA
156 TOLEMAN RD.
WASHINGTONVILLE, NY 10992

PLANNING BOARD

P.B. APP. NO. 05-17

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

MAR 18 2009

By: [Signature] Chairman

By: [Signature] Secretary

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

TACONIC DESIGN
ENGINEERING, PLLC

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3125 ROUTE 9W
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(845)-569-8400
(FAX)(845)-569-4583

CHARLES T. BROWN, P.E.

P.O. BOX 4470

NEW WINDSOR, N.Y. 12553

SURVEY SHEET

4 LOT SUBDIVISION SKETCH PLAN FOR:
MANGIARACINA

122 TOLEMAN ROAD (S/B/L: 56-1-56)

TOWN OF NEW WINDSOR, ORANGE COUNTY, NY

DATE 06/17/04 SCALE 1"=100' JOB NUMBER 04066-MGA SHEET NUMBER 1 OF 7

SURVEYOR

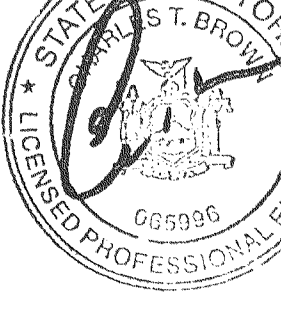
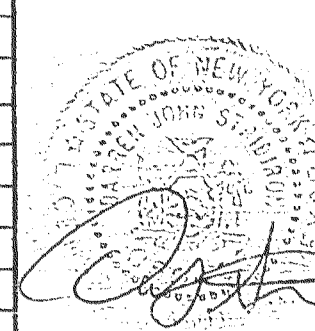
DARREN J. STRIDIRON

NEW YORK STATE LICENSE NO. 05048

ENGINEER

CHARLES T. BROWN

P.E.



REV.	DATE	BY	DESCRIPTION	REV.	DATE	BY	DESCRIPTION
12	02/02/09	R.B.M.	REVISED PER SURVEYOR	6	06/14/06	T.D.C.	ADDED EXISTING SEPTIC ON LOT # 4
11	10/23/07	T.D.E.	PLANNING BOARD RESUBMISSION	5	04/25/06	K.R.M.	PER TOWN ENGINEERS COMMENTS
10	10/03/07	T.D.E.	PER DEC COMMENTS	4	04/05/06	J.J.C.	DIMENSIONED TO ACCESSORY STRUCTURE
9	03/28/07	J.J.C.	RELOCATED LOT # 1 DRIVEWAY	3	02/02/06	J.J.C.	PER TOWN ENGINEERS COMMENTS
8	03/01/07	J.J.C.	PER DEC COMMENTS	2	07/22/05	D.E.S.	REVISED PER WORK SESSION
7	09/31/06	T.D.C.	FOR TOWN AND DEC SUBMISSION	1	07/16/05	J.J.C.	REVISED PER RETESTING FOR S.D.S.'S

LEGEND

PROPERTY LINE EXISTING
PROPERTY LINE PROPOSED
PROPERTY LINE ADJOINING
AT&T EASEMENT

STATE WETLAND BOUNDARY

FEDERAL WETLAND BOUNDARY

FENCE

STONE WALL

WATER

WELL EXISTING

WELL PROPOSED

WELL EXISTING

WELL PROPOSED

WELL EXISTING

WELL PROPOSED

WELL EXISTING

WELL PROPOSED

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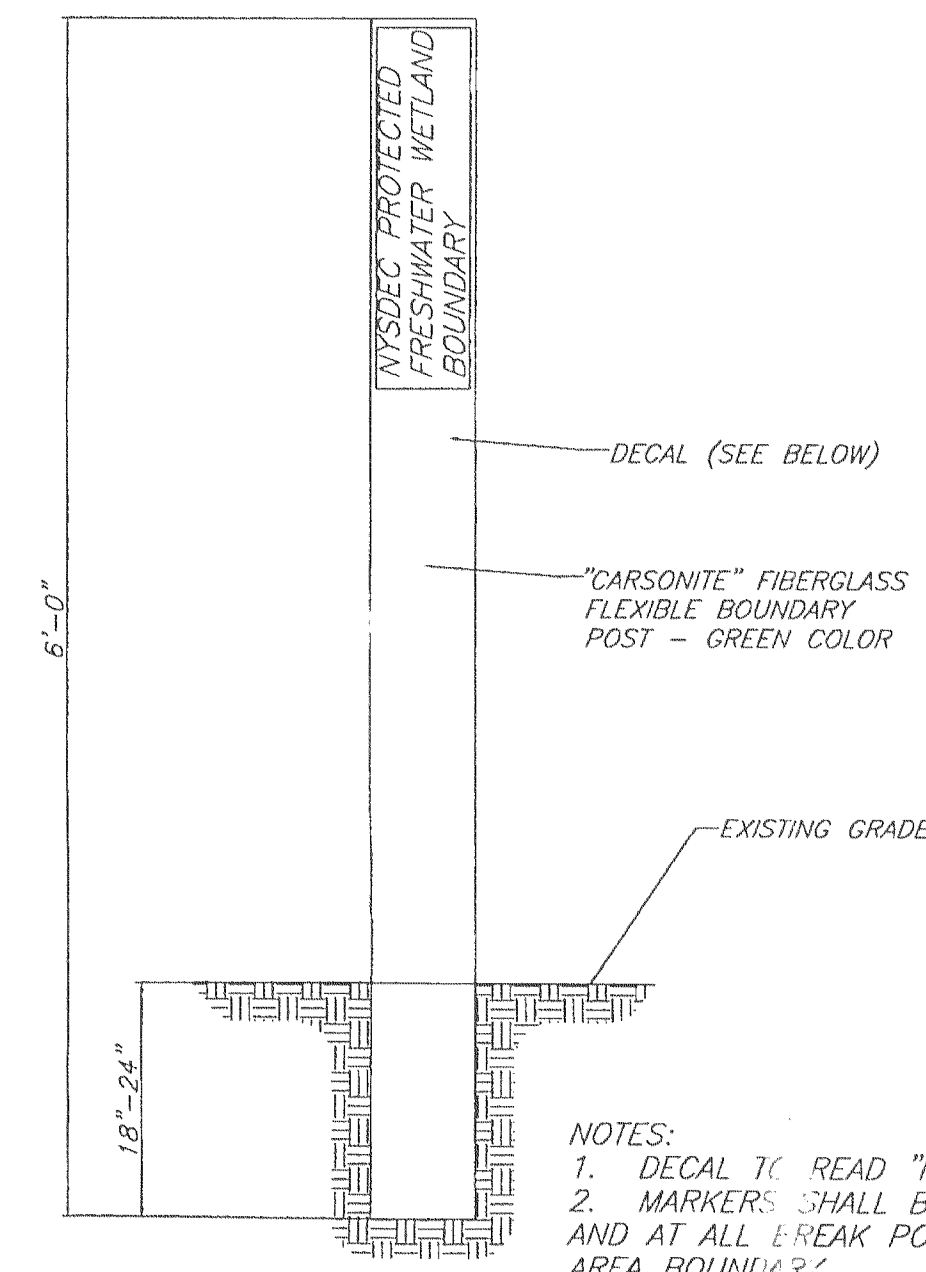
WELL EXISTING

WELL PROPOSED

AGRICULTURAL NOTES:

THIS SUBDIVISION IS LOCATED IN AN AGRICULTURALLY ZONED DISTRICT, IT PRESENTLY DOES NOT HAVE ACTIVE FARMING OPERATIONS IN THE VICINITY. IF NEIGHBORING LANDS ARE FARMED IN THE FUTURE, BE ADVISED OF THE FOLLOWING.

1. THAT FARMING DOES NOT OCCUR ONLY BETWEEN 8:00am AND 5:00pm AND IS DEPENDENT ON MOTHER NATURE: RESIDENTS SHOULD BE AWARE OF NOISE FROM AGRICULTURAL MACHINERY BEING OPERATED IN NEARBY FIELDS IN EARLY MORNING AND EVENING HOURS AND NOISE FROM CROP DRYING FANS WHICH ARE ON 24 HOURS A DAY DURING THE HARVESTING SEASON.
2. THAT TOLEMAN ROAD MAY FREQUENTLY BE TRAVELED BY FARMERS AND THEIR SLOW MOVING FARM VEHICLES AND EQUIPMENT.
3. THAT FARM NEIGHBORS VERY OFTEN SPRAY THEIR CROPS WITH PESTICIDES IN ACCORDANCE WITH ACCEPTED PRACTICES REGULATED BY THE NEW YORK DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC NOTIFICATION No. 325, OCTOBER 1988).
4. THAT EXISTING AGRICULTURAL OPERATIONS MAY CREATE BOTH UNAVOIDABLE ODORS AND UNSIGHTLINESS COMMONLY ASSOCIATED WITH FARMING OPERATIONS IN THE AREA.
5. THAT THERE ARE DANGERS IN LETTING CHILDREN AND PETS ROAM INTO ANY ADJACENT FIELD, WHICH IS PRIVATE PROPERTY.



NOTES:
1. DECAL TO READ "NYSDEC PROTECTED WETLAND ADJACENT AREA"
2. MARKERS SHALL BE PLACED AT A MINIMUM OF EVERY 50 FEET AND AT ALL BREAK POINTS ALONG THE 100-FOOT WETLAND ADJACENT AREA BOUNDARY.

WETLAND MARKER DETAIL
N.T.S.

LIMITS OF DISTURBANCE

THE AREA OF DISTURBANCE FOR CONSTRUCTION ACTIVITIES ON LOT # 1, LOT # 2, AND LOT # 3 IS A TOTAL OF 3.70 ACRES. SINCE ALL CONSTRUCTION IS FOR SINGLE FAMILY RESIDENCES AND DISTURBS LESS THAN 5 ACRES THE EROSION AND SEDIMENTATION CONTROL PLAN (E&SC) CONSTITUTES AS THE SWPPP. THIS SHEET SERVES ALSO AS THE E&SC REQUIRED BY CURRENT REGULATIONS SET FORTH BY THE TOWN OF NEW WINDSOR AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

WETLAND AND ADJACENT AREA PROTECTION NOTES:

1. EXISTING TREES IN THE WETLANDS AND 100' REGULATED ADJACENT AREA SHALL NOT BE REMOVED, TRIMMED, OR DISTURBED, EXCEPT AS NOTED FOR LOT # 1 DRIVEWAY CONSTRUCTION PER PLANS.
2. TREES SPACED AT A MINIMUM 20' ON CENTER SHALL BE PLACED AT THAT LOCATION (LIMITS OF DISTURBANCE) ON THE NORTHERN AND SOUTHERN SIDE OF THE PROPOSED DRIVEWAY FOR LOT # 1 TO PRESERVE WETLAND MB-28 AND ITS 100' REGULATED ADJACENT AREA. THIS SHALL BE DONE ON COMPLETION OF DRIVEWAY AND PRIOR TO ISSUANCE OF A C.O. FOR LOT # 1.
3. THE BOUNDARY OF THE WETLAND ADJACENT AREA ON ALL FOUR LOTS SHALL BE MARKED WITH ONE OF THE FOLLOWING:
a) A FENCE OR TREE LINE THAT CONSTITUTES A PERMANENT BARRIER TO DISTURBANCE.
b) A LINE OF CARSONITE MARKERS, NO LESS THAN 50 FEET APART AND MARKING EACH ANGLE, WHICH CLEARLY IDENTIFY THAT THE ADJACENT AREA IS REGULATED BY NEW YORK STATE AS THE 100 FOOT BOUNDARY OF THE WETLAND ADJACENT AREA.
4. ALL PORTIONS OF THE ADJACENT AREA OR ALL FOUR LOTS, EXCEPTING THE ACCESS DRIVE ON LOT # 1, MUST BE ALLOWED TO REVEGETATE.
5. THE ADJACENT AREA OF THE WETLANDS SHALL NOT BE MOWED BY THE BUILDER OR LOT OWNER DURING AND/OR AFTER CONSTRUCTION.
6. THE DEEDS FOR ALL FOUR LOTS SHALL INCLUDE NOTICES ADVISING FUTURE OWNERS OF THE PRESENCE OF NYSDEC REGULATED FRESHWATER WETLANDS AND/OR 100 FOOT ADJACENT AREA.

TOWN CERTIFICATION:

"I HEREBY CERTIFY TO THE TOWN OF NEW WINDSOR THAT THE NYS SEWAGE DISPOSAL SYSTEMS DEPICTED ON THIS PLAN HAVE BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE PUBLIC HEALTH LAW AND ALL REGULATIONS PROMULGATED THEREUNDER".

INSTALLATION NOTE:

ALL CORNERS OF PROPOSED SEWAGE DISPOSAL SYSTEMS, WELL AND RESIDENCE SHALL BE STAKED OUT BY A N.Y.S. LICENCED SURVEYOR PRIOR TO CONSTRUCTION.

REV.	DATE	BY	DESCRIPTION
11	02/02/09	R.B.M.	REVISED PER SURVEYOR
10	10/23/07	T.D.E.	PLANNING BOARD RESUBMISSION
9	10/03/07	J.J.C.	PER NYSDEC COMMENTS
8	03/28/07	J.J.C.	RELOCATED LOT # 1 DRIVEWAY
7	03/01/07	J.J.C.	PER DEC COMMENTS
6	08/31/06	T.D.C.	FOR TOWN AND DEC SUBMISSION
5	06/14/06	T.D.C.	ADDED EXISTING SEPTIC ON LOT # 4
4	04/25/06	K.R.M.	PER TOWN ENGINEER'S COMMENTS
3	04/05/06	J.J.C.	DIMENSIONED TO ACCESSORY STRUCTURE
2	02/02/06	J.J.C.	PER TOWN ENGINEER'S COMMENTS
1	07/18/05	J.J.C.	REVISED PER RETESTING FOR S.D.S.'S

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET

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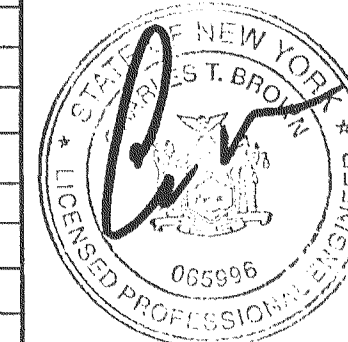
SITE PLAN (GRADING & SEPTIC DESIGNS)

LOT SUBDIVISION SKETCH PLAN FOR:
MANGIARACINA

122 TOLEMAN ROAD (S/B/L: 56-1-56)

TOWN OF NEW WINDSOR, ORANGE COUNTY, NY

DATE	SCALE	JOB NUMBER	SHEET NUMBER
06/17/04	1"=100'	04066-MGA	2 OF 7



LEGEND

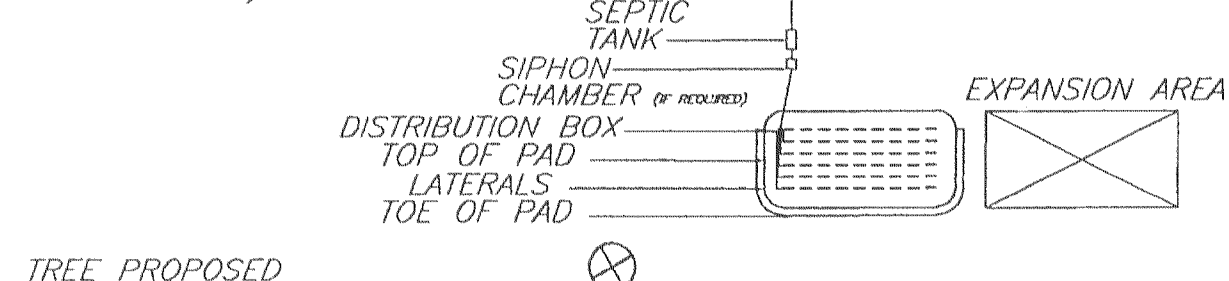
PROPERTY LINE EXISTING
PROPERTY LINE PROPOSED
PROPERTY LINE ADJOINING
SETBACKS

STATE WETLAND BOUNDARY

FEDERAL WETLAND BOUNDARY

FENCE
STONE WALL
CONTOURS 10' ft
CONTOURS 2' ft
CONTOURS PROPOSED
WATER
DEEP TEST
PERCOLATION TEST
WELL PROPOSED
WELL EXISTING
AT&T EASEMENT

PROPOSED SINGLE FAMILY
RESIDENCE W/DRIVEWAY



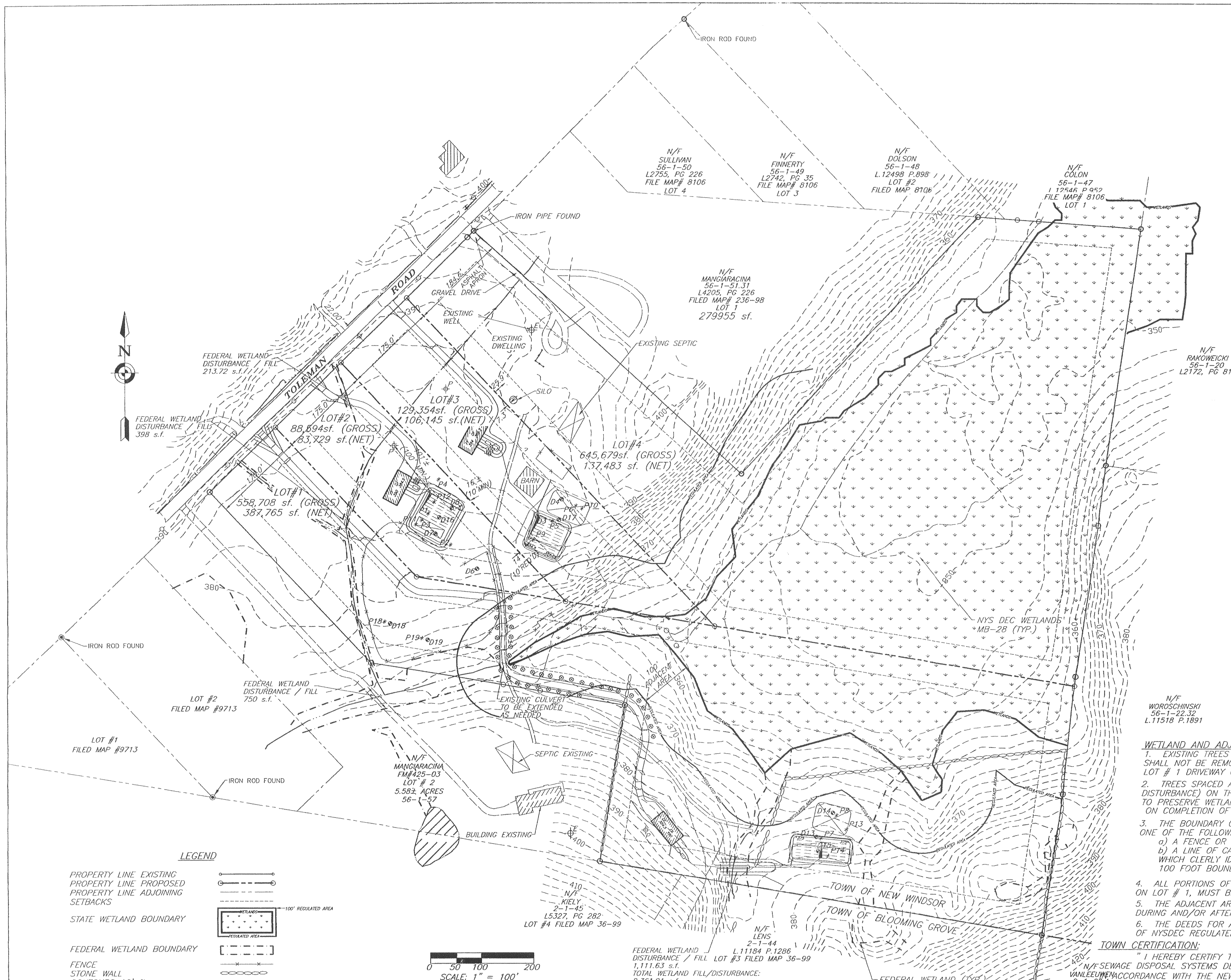
TREE PROPOSED


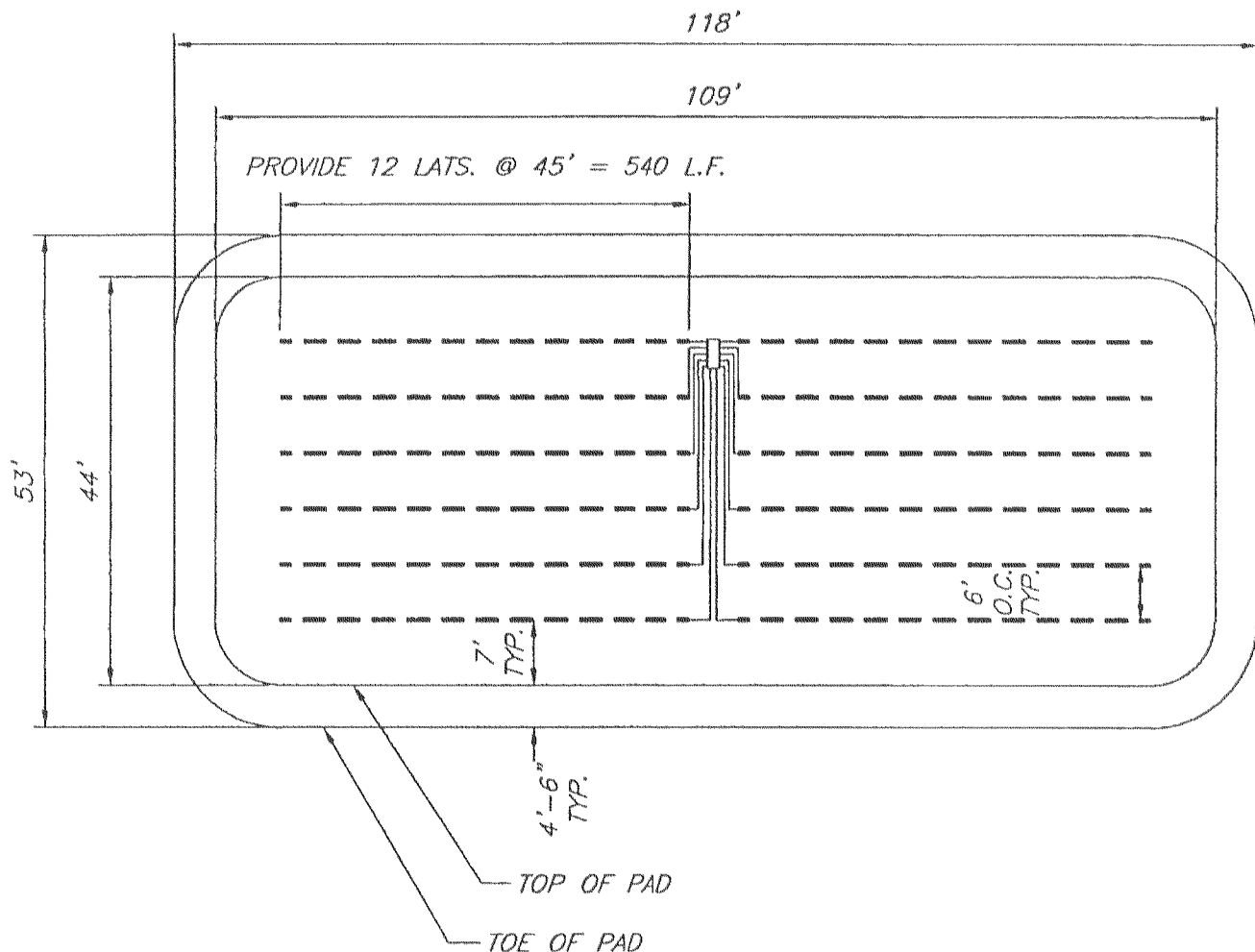
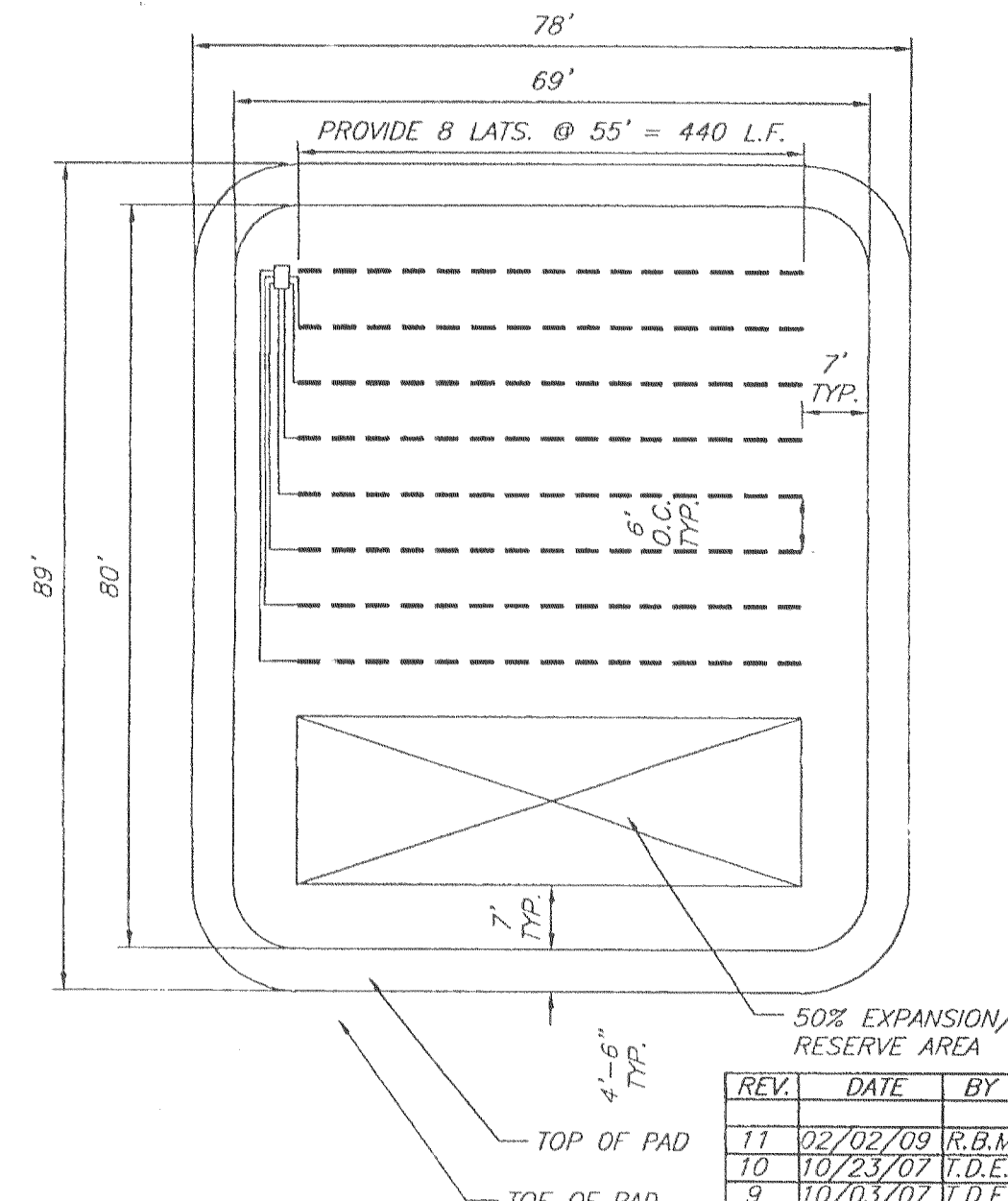
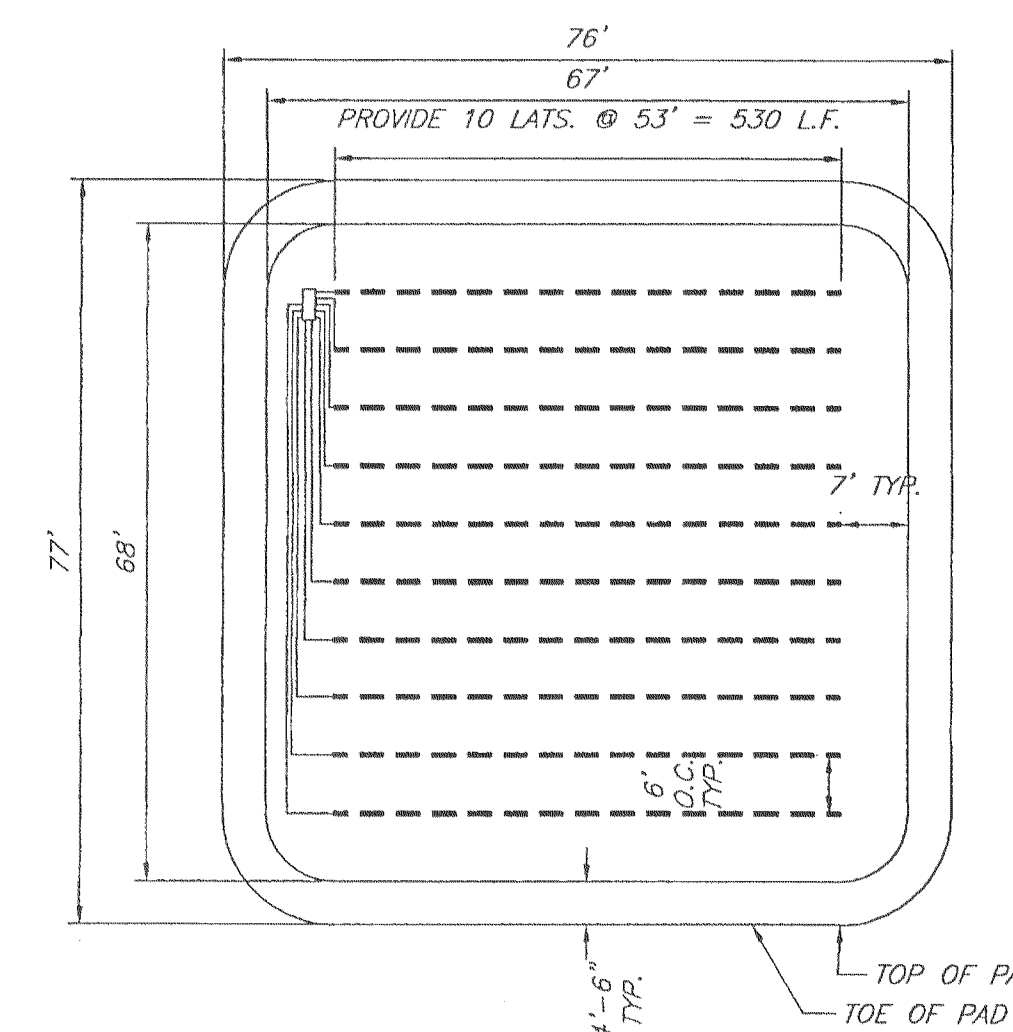
0 50 100 200
SCALE: 1" = 100'

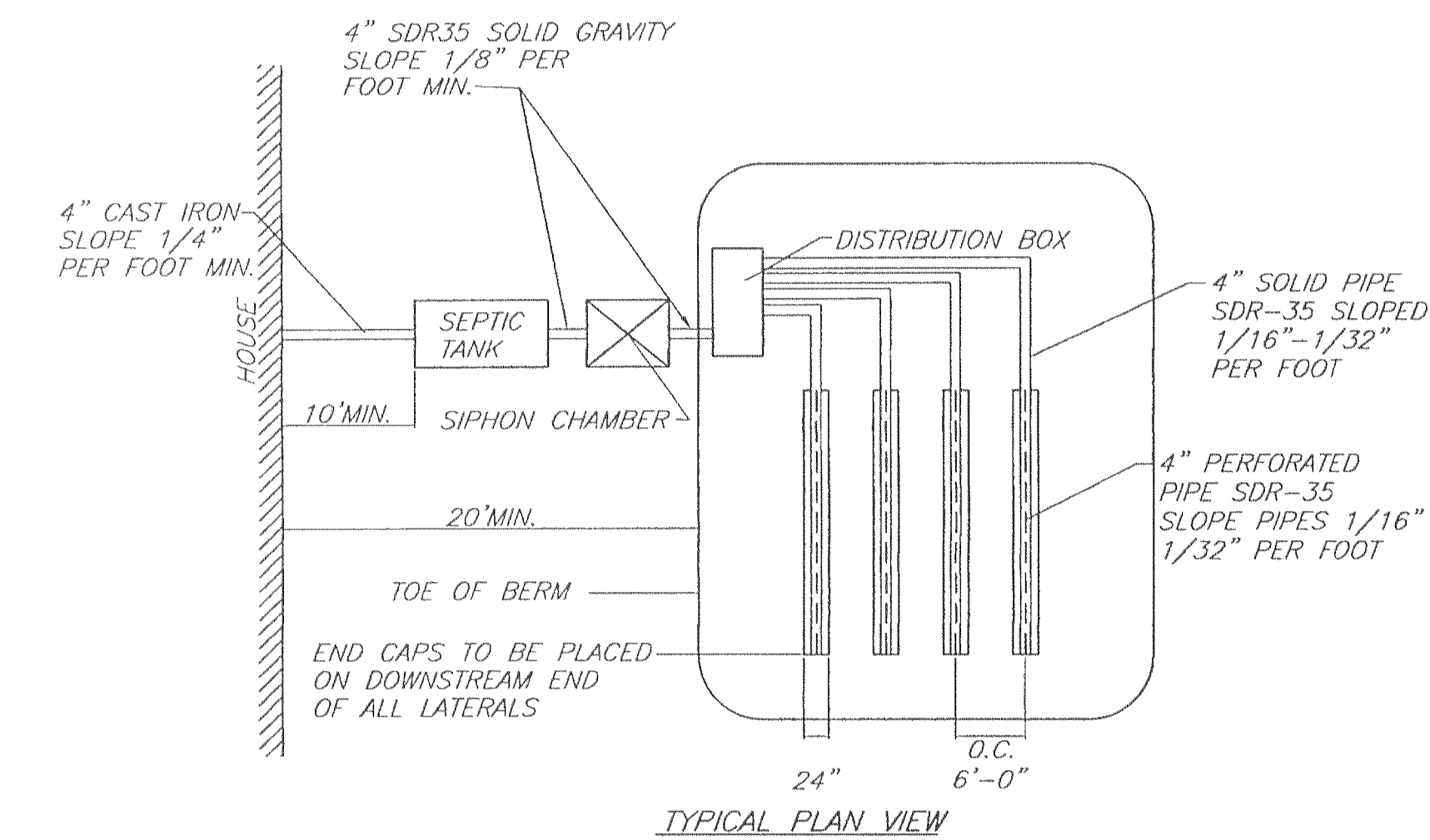
FEDERAL WETLAND
DISTURBANCE / FILL LOT #3 FILED MAP 36-99
1,111.63 s.f.
TOTAL WETLAND FILL/DISTURBANCE:
2,981.91 s.f.
(INCLUDING DISTURBANCE PER
PREVIOUS SUBDIVISION F.M.#425-03)

WETLAND NOTES

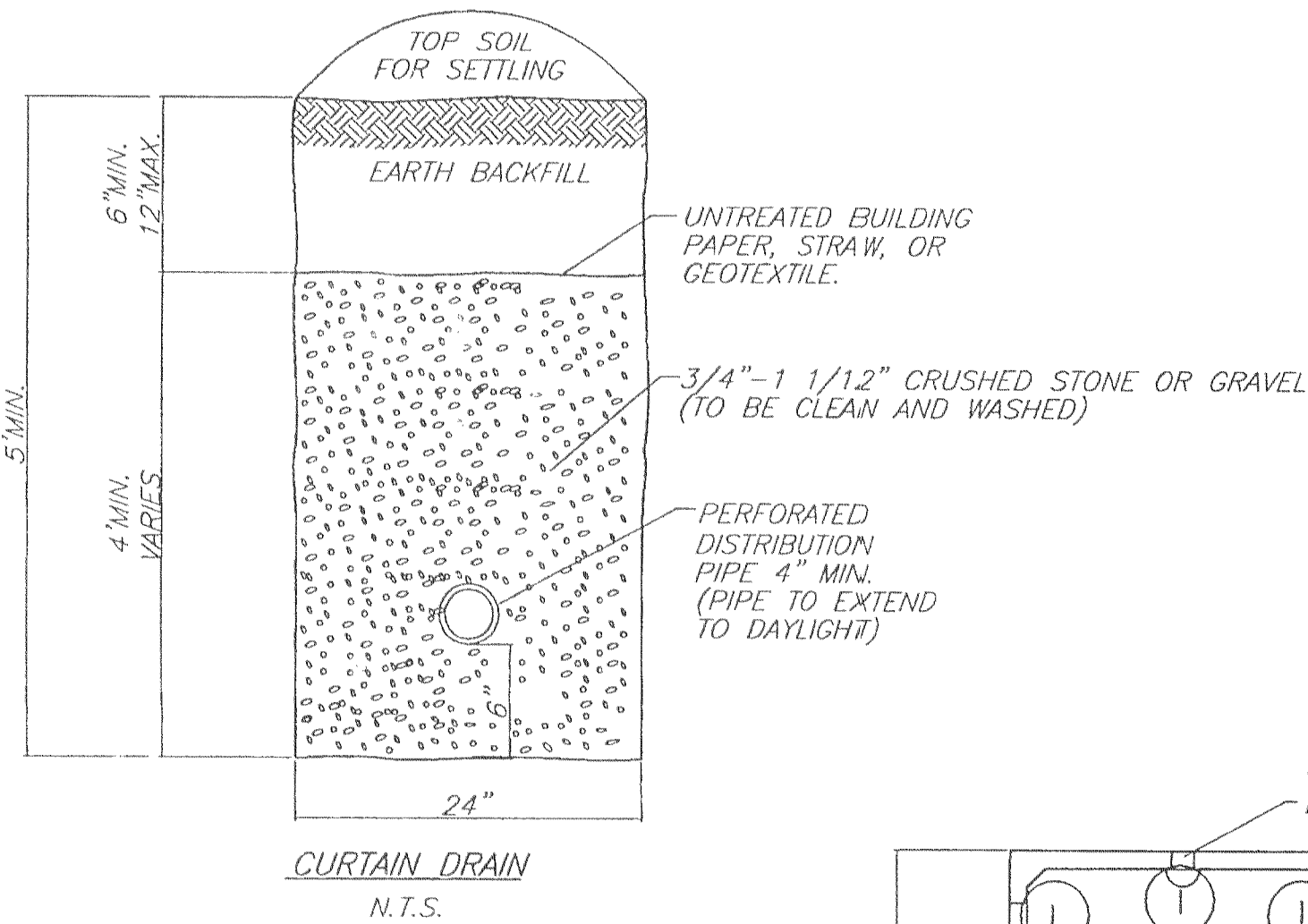
1. ANY PROPOSED CONSTRUCTION, GRADING, FILLING, EXCAVATING, CLEARING OR OTHER REGULATED ACTIVITY WITHIN THE STATE FRESHWATER WETLAND OR THE 100' REGULATED ADJACENT AREA REQUIRES A PERMIT FROM THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNDER ARTICLE 24 OF THE ENVIRONMENTAL CONSERVATION LAW (FRESHWATER WETLANDS ACT) PRIOR TO COMMENCEMENT OF WORK.
2. THE BOUNDARY OF THE WETLAND ADJACENT AREA ON ALL FOUR LOTS SHALL BE MARKED BY ONE OF THE FOLLOWING PRIOR TO ANY CONSTRUCTION:
a) A FENCE OR TREE LINE SUCH AS CONSTITUTES A PERMANENT BARRIER TO DISTURBANCE.
b) A LINE OF CARSONITE MARKERS, NO LESS THAN 50' APART AND MARKING EACH ANGLE, WHICH CLEARLY IDENTIFY THAT THE AREA IS REGULATED BY NEW YORK STATE AS THE 100-FOOT BOUNDARY OF THE WETLAND ADJACENT AREA.
3. ALL PORTIONS OF THE WETLAND ADJACENT AREA ON ALL FOUR LOTS, EXCEPTING THE ACCESS DRIVE ON LOT 1, MUST BE ALLOWED TO REVEGETATE.
4. ALL PORTIONS OF THE WETLAND ADJACENT AREA ON ALL FOUR LOTS, EXCEPTING AS STATED IN NUMBER 3 ABOVE ARE NO MOW AREAS.
5. THE DEEDS FOR ALL FOUR LOTS SHALL INCLUDE A NOTICE TO THE FUTURE OWNERS OF THE PRESENCE OF NYS REGULATED FRESHWATER WETLANDS AND/OR 100 FOOT ADJACENT AREAS.



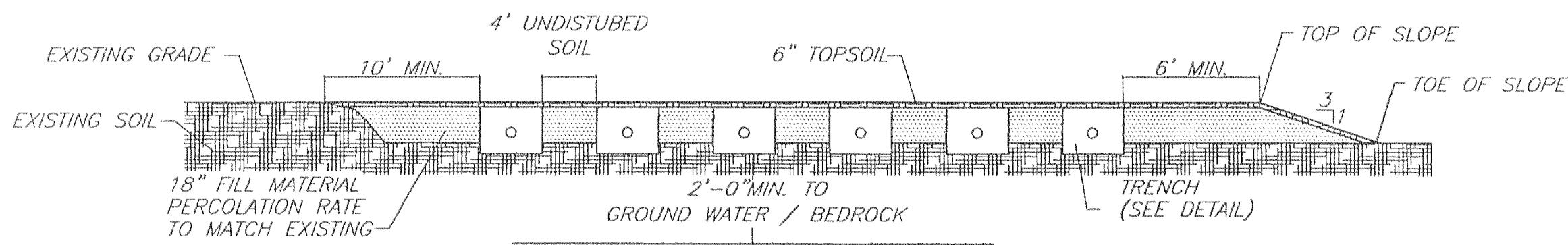
	<p>LOT #1</p> <p>* P7 12" DEEP 07/02/04</p> <table><tr><td>1</td><td>2</td><td>3</td></tr><tr><td>FINISH</td><td>11:59</td><td>12:11</td><td>12:24</td></tr><tr><td>START</td><td>11:53</td><td>12:00</td><td>12:12</td></tr><tr><td>TIME</td><td>:06</td><td>:11</td><td>:12</td></tr></table> <p>STABILIZED PERCOLATION RATE: 12 MINUTES /INCH</p> <p>* P8 12" DEEP 07/02/04</p> <table><tr><td>1</td><td>2</td><td>3</td></tr><tr><td>FINISH</td><td>12:00</td><td>12:09</td><td>12:19</td></tr><tr><td>START</td><td>11:56</td><td>12:01</td><td>12:09</td></tr><tr><td>TIME</td><td>:04</td><td>:08</td><td>:09</td></tr></table> <p>STABILIZED PERCOLATION RATE: 9 MINUTES/INCH</p> <p>** P13 12" DEEP 05/26/05</p> <table><tr><td>1</td><td>2</td><td>3</td></tr><tr><td>FINISH</td><td>10:43</td><td>11:25</td><td>12:07</td></tr><tr><td>START</td><td>10:08</td><td>10:45</td><td>11:26</td></tr><tr><td>TIME</td><td>:35</td><td>:40</td><td>:41</td></tr></table> <p>STABILIZED PERCOLATION RATE: 41 MINUTES/INCH</p> <p>** P14 12" DEEP 05/26/05</p> <table><tr><td>1</td><td>2</td><td>3</td></tr><tr><td>FINISH</td><td>10:37</td><td>11:12</td><td>11:47</td></tr><tr><td>START</td><td>10:10</td><td>10:38</td><td>11:13</td></tr><tr><td>TIME</td><td>:27</td><td>:34</td><td>:34</td></tr></table> <p>STABILIZED PERCOLATION RATE: 34 MINUTES/INCH</p> <p>* P18 12" DEEP 06/30/04</p> <table><tr><td>1</td></tr><tr><td>FINISH</td><td>--</td></tr><tr><td>START</td><td>9:30</td></tr><tr><td>TIME</td><td>FAIL</td></tr></table> <p>STABILIZED PERCOLATION RATE: > 50 MINUTES /INCH</p> <p>* P19 12" DEEP 06/30/04</p> <table><tr><td>1</td></tr><tr><td>FINISH</td><td>--</td></tr><tr><td>START</td><td>9:35</td></tr><tr><td>TIME</td><td>FAIL</td></tr></table> <p>STABILIZED PERCOLATION RATE: > 50 MINUTES/INCH</p>	1	2	3	FINISH	11:59	12:11	12:24	START	11:53	12:00	12:12	TIME	:06	:11	:12	1	2	3	FINISH	12:00	12:09	12:19	START	11:56	12:01	12:09	TIME	:04	:08	:09	1	2	3	FINISH	10:43	11:25	12:07	START	10:08	10:45	11:26	TIME	:35	:40	:41	1	2	3	FINISH	10:37	11:12	11:47	START	10:10	10:38	11:13	TIME	:27	:34	:34	1	FINISH	--	START	9:30	TIME	FAIL	1	FINISH	--	START	9:35	TIME	FAIL	<p>LOT #2</p> <p>* P1 12" DEEP 6/09/04</p> <table><tr><td>1</td><td>2</td><td>3</td><td>4</td></tr><tr><td>FINISH</td><td>12:03</td><td>12:13</td><td>12:26</td><td>12:41</td></tr><tr><td>START</td><td>11:58</td><td>12:04</td><td>12:13</td><td>12:28</td></tr><tr><td>TIME</td><td>:05</td><td>0:09</td><td>0:13</td><td>0:13</td></tr></table> <p>STABILIZED PERCOLATION RATE: 13 MINUTES /INCH</p> <p>* P2 12" DEEP 6/09/04</p> <table><tr><td>1</td><td>2</td><td>3</td></tr><tr><td>FINISH</td><td>2:10</td><td>2:37</td><td>3:05</td></tr><tr><td>START</td><td>1:57</td><td>2:10</td><td>2:38</td></tr><tr><td>TIME</td><td>:13</td><td>0:27</td><td>0:27</td></tr></table> <p>STABILIZED PERCOLATION RATE: 27 MINUTES /INCH</p> <p>* P3 12" DEEP 07/01/04</p> <table><tr><td>1</td><td>2</td><td>3</td><td>4</td></tr><tr><td>FINISH</td><td>2:20</td><td>2:24</td><td>2:32</td><td>2:41</td></tr><tr><td>START</td><td>2:17</td><td>2:20</td><td>2:25</td><td>2:33</td></tr><tr><td>TIME</td><td>:03</td><td>:04</td><td>:07</td><td>:08</td></tr></table> <p>STABILIZED PERCOLATION RATE: 8 MINUTES /INCH</p> <p>* P4 12" DEEP 07/02/04</p> <table><tr><td>1</td><td>2</td><td>3</td></tr><tr><td>FINISH</td><td>10:38</td><td>11:05</td><td>11:29</td></tr><tr><td>START</td><td>10:25</td><td>10:42</td><td>11:05</td></tr><tr><td>TIME</td><td>:13</td><td>:23</td><td>:24</td></tr></table> <p>STABILIZED PERCOLATION RATE: 24 MINUTES /INCH</p> <p>** P11 12" DEEP 05/26/05</p> <table><tr><td>1</td><td>2</td><td>3</td><td>4</td><td>5</td><td>6</td></tr><tr><td>FINISH</td><td>9:08</td><td>9:31</td><td>9:58</td><td>10:27</td><td>10:56</td><td>11:25</td></tr><tr><td>START</td><td>8:51</td><td>9:09</td><td>9:32</td><td>9:59</td><td>10:28</td><td>10:57</td></tr><tr><td>TIME</td><td>:17</td><td>:22</td><td>:26</td><td>:28</td><td>:28</td><td>:28</td></tr></table> <p>STABILIZED PERCOLATION RATE: 28 MINUTES/INCH</p> <p>** P12 12" DEEP 05/26/05</p> <table><tr><td>1</td><td>2</td><td>3</td><td>4</td><td>5</td><td>6</td></tr><tr><td>FINISH</td><td>9:05</td><td>9:23</td><td>9:46</td><td>10:09</td><td>10:32</td><td>10:55</td></tr><tr><td>START</td><td>8:52</td><td>9:06</td><td>9:24</td><td>9:47</td><td>10:10</td><td>10:33</td></tr><tr><td>TIME</td><td>:13</td><td>:17</td><td>:22</td><td>:22</td><td>:22</td><td>:22</td></tr></table> <p>STABILIZED PERCOLATION RATE: 22 MINUTES/INCH</p>	1	2	3	4	FINISH	12:03	12:13	12:26	12:41	START	11:58	12:04	12:13	12:28	TIME	:05	0:09	0:13	0:13	1	2	3	FINISH	2:10	2:37	3:05	START	1:57	2:10	2:38	TIME	:13	0:27	0:27	1	2	3	4	FINISH	2:20	2:24	2:32	2:41	START	2:17	2:20	2:25	2:33	TIME	:03	:04	:07	:08	1	2	3	FINISH	10:38	11:05	11:29	START	10:25	10:42	11:05	TIME	:13	:23	:24	1	2	3	4	5	6	FINISH	9:08	9:31	9:58	10:27	10:56	11:25	START	8:51	9:09	9:32	9:59	10:28	10:57	TIME	:17	:22	:26	:28	:28	:28	1	2	3	4	5	6	FINISH	9:05	9:23	9:46	10:09	10:32	10:55	START	8:52	9:06	9:24	9:47	10:10	10:33	TIME	:13	:17	:22	:22	:22	:22	<p>LOT #3</p> <p>* P5 12" DEEP 07/01/04</p> <table><tr><td>1</td><td>2</td><td>3</td><td>4</td></tr><tr><td>FINISH</td><td>2:50</td><td>3:11</td><td>3:36</td><td>4:02</td></tr><tr><td>START</td><td>2:38</td><td>2:51</td><td>3:12</td><td>3:37</td></tr><tr><td>TIME</td><td>:12</td><td>:20</td><td>:24</td><td>:25</td></tr></table> <p>STABILIZED PERCOLATION RATE: 25 MINUTES /INCH</p> <p>* P6 12" DEEP 07/01/04</p> 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MINUTES/INCH</p>	1	2	3	4	FINISH	2:50	3:11	3:36	4:02	START	2:38	2:51	3:12	3:37	TIME	:12	:20	:24	:25	1	2	3	FINISH	10:20	10:40	11:01	START	10:11	10:21	10:41	TIME	:09	:19	:20	1	2	3	4	5	FINISH	8:51	8:57	9:03	9:13	9:22	START	8:48	8:52	8:58	9:05	9:14	TIME	:03	:05	:07	:08	:08	1	2	3	FINISH	9:12	9:43	10:14	START	8:48	9:13	9:44	TIME	:24	:30	:30	<p><u>SEPTIC SYSTEM GENERAL NOTES:</u></p> <ol style="list-style-type: none">ALL PORTIONS OF THE SEPTIC FIELD WILL BE A MINIMUM DISTANCE OF 200 FEET UP SLOPE AND 100 FEET DOWN SLOPE FROM ANY WELL.SEPTIC TANK TO BE LOCATED A MINIMUM DISTANCE OF 10 FEET FROM ANY BUILDING OR PROPERTY LINE.CELLAR DRAINS, ROOF DRAINS OR FOOTING DRAINS SHALL NOT BE DISCHARGED IN THE VICINITY OF AN ABSORPTION FIELD.SWIMMING POOLS, DRIVEWAYS, OR STRUCTURES THAT MAY COMPACT THE SOIL SHALL NOT BE CONSTRUCTED OVER ANY PORTION OF THE ABSORPTION FIELD.NO TRENCHES TO BE INSTALLED IN WET SOIL.RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL IN ABSORPTION TRENCH.GROUT ALL PIPE PENETRATIONS TO CONC. SEPTIC TANK & DISTRIBUTION BOX.DISTRIBUTION LINES ARE TO BE CAPED.THE PERIMETER OF THE ABSORPTION FIELD SHOULD BE GRADED TO DIVERT SURFACE WATER.ALL NEWLY DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED UPON CONSTRUCTION COMPLETION USING GRASS SEED & MULCH.NO SEWAGE SYSTEM SHALL BE PLACED WITHIN 35' OF ANY WATER COURSE DRAINAGE DITCH.ALL LAUNDRY AND KITCHEN WASTES SHALL BE DISCHARGED INTO SEWAGE SYSTEM.BENDS SHALL BE USED WHEN ENTRANCE OR EXIT FROM SEPTIC TANK IS NOT APPROXIMATELY STRAIGHT. IF BENDS ARE USED AT POINTS OTHER THAN ENTRANCE OR EXIT POINTS, THEN A CLEANOUT IS REQUIRED.THE DESIGN AND LOCATION OF THE SANITARY FACILITIES SHALL NOT BE CHANGED WITHOUT RESUBMISSION FOR APPROVAL.HEAVY EQUIPMENT SHALL BE KEPT OFF THE AREA OF THE ABSORPTION FIELDS EXCEPT DURING THE ACTUAL CONSTRUCTION. THERE SHALL BE NO UNNECESSARY MOVEMENT OF CONSTRUCTION EQUIPMENT IN THE ABSORPTION FIELD AREA BEFORE, DURING, OR AFTER CONSTRUCTION.THIS SYSTEM WAS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS, JACUZZI TYPE SPA TUBS OVER 100 GALLONS, OR WATER CONDITIONERS. AS SUCH, THESE ITEMS SHALL NOT BE INSTALLED UNLESS THE SYSTEM IS REDESIGNED TO ACCOUNT FOR THESE.THERE MUST BE AN UNINTERRUPTED POSITIVE SLOPE FROM THE SEPTIC TANK (OR ANY PUMPING OR DOSING CHAMBER) TO THE HOUSE, ALLOWING SEPTIC GASES TO DISCHARGE THROUGH THE STACK VENT.THE PURCHASER OF THIS LOT SHALL BE PROVIDED WITH A COPY OF THE APPROVED PLANS AND AN ACCURATE AS-BUILT DRAWING OF ANY EXISTING SANITARY FACILITIES. <p><u>STANDARD NOTES:</u></p> <p>THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:</p> <p>"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE."</p> <p>"WASTE TREATMENT HANDBOOK, INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE DEPARTMENT OF HEALTH."</p> <p>"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH."</p> <p>"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT, NEW YORK STATE DEPARTMENT OF HEALTH."</p> <p>"THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES.</p> <p>ALL WELLS AND S.D.S. EXISTING OR APPROVED WITHIN 200' OF THE PROPOSED WELLS AND S.D.S. ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE S.D.S. AND WELL. IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE CERTIFYING ENGINEER THAT THE SEPTIC TANK IS SEALED, WATER TIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AS A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATER TIGHT AND ACCEPTABLE FOR USE.</p> <p>ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.</p> <p>INDIVIDUAL WELLS AND SEWAGE DISPOSAL SYSTEMS SHALL NO LONGER BE CONSTRUCTED OR USED FOR HOUSEHOLD PURPOSES WHEN PUBLIC FACILITIES BECOME AVAILABLE. CONNECTION TO THE PUBLIC SEWER SYSTEM IS REQUIRED WITHIN 1 YEAR OF AVAILABILITY.</p> <p>SCHEDULING OF THE JOINT SITE INSPECTION WILL BE DEPENDENT ON FILL INSTALLATION. FILL MUST BE STABILIZED TO THE SATISFACTION OF THE DESIGN ENGINEER AND THIS DEPARTMENT BEFORE A JOINT SITE INSPECTION MAY BE SCHEDULED. SPECIFIC TESTING REQUIREMENTS WILL BE PROVIDED SUBSEQUENT TO RESUBMISSION OF PLANS AND SUPPORTING DOCUMENTATION.</p> <p>* DENOTES SOIL TESTING WITNESSED BY A REPRESENTATIVE OF McGOEY, HAUSER, AND EDSALL CONSULTING ENGINEERS, P.C..</p> <p>PLANNING BOARD P.B. APP. NO. 05-17</p> <div><div>APPROVAL GRANTED BY TOWN OF NEW WINDSOR</div><div>By:  Charles T. Brown, Chairman City of New Windsor, New York</div></div>
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DEEP TESTS DATA	<p>D13 5'-0" DEEP 07/07/04</p> <p>0'-9" TOPSOIL 9"-60" SILT LOAM WITH STONE NO ROCK, NO WATER, NO MOTTLING</p> <p>D14 6'-0" DEEP 07/07/04</p> <p>0'-8" TOPSOIL 8"-72" SILT LOAM WITH STONE NO ROCK, NO WATER, NO MOTTLING</p> <p>* D15 6'-0" DEEP 05/26/05</p> <p>0'-10" TOPSOIL 10"-32" SILTY LOAM 32"-72" CLAY LOAM MOTTLING @ 32" WATER @ 32" NO ROCK</p> <p>D18 5'-3" DEEP 06/30/04</p> <p>0'-5" TOPSOIL 5"-34" SILTY LOAM 34"-63" CLAY LOAM WATER @ 44" MOTTLING @ 34" NO ROCK</p> <p>D19 5'-7" DEEP 06/30/04</p> <p>0'-7" TOPSOIL 7"-35" SILTY LOAM 35"-67" CLAY LOAM WATER @ 42" MOTTLING @ 35" NO ROCK</p>	<p>D7 6'-0" DEEP 06/30/04</p> <p>0'-4" TOPSOIL 4"-30" LIGHT BROWN LOAM w/STONES 30"-40" SILTY LOAM 40"-72" CLAY LOAM NO WATER MOTTLING @ 38" NO ROCK</p> <p>D8 5'-2" DEEP 06/30/04</p> <p>0'-4" TOPSOIL 4"-38" LIGHT BROWN LOAM 38"-52" SILTY LOAM 52"-62" CLAY LOAM NO WATER MOTTLING @ 36" NO ROCK</p> <p>* D16 6'-0" DEEP 05/26/05</p> <p>0'-8" TOPSOIL 8"-34" SILTY LOAM 34"-72" CLAY LOAM WATER @ 64" MOTTLING @ 34" NO ROCK</p>	<p>D3 7'-0" DEEP 06/30/04</p> <p>0'-10" TOPSOIL 10"-84" BROWN LOAM AND GRAVEL NO WATER NO MOTTLING NO ROCK</p> <p>D4 7'-0" DEEP 06/30/04</p> <p>0'-9" TOPSOIL 9"-48" BROWN LOAM AND GRAVEL 48"-84" BROWN LOAM WITH SILT AND GRAVEL NO WATER MOTTLING @ 38" NO ROCK</p> <p>* D17 5'-4" DEEP 05/26/05</p> <p>0'-10" TOPSOIL 10"-34" SILTY LOAM 34"-64" CLAY LOAM MOTTLING @ 45" NO ROCK, NO WATER</p>																																																																																																																																																																																																																																																																													
DESIGN SCHEDULE	<p><u>SEPTIC DESIGN CRITERIA:</u></p> <ol style="list-style-type: none">NO. OF BEDROOMS-4max.SEPTIC TANK DESIGN-1,250STABILIZED PERCOLATION RATE-41min./inchFLOW RATE (GALS /DAY)-520DESIGN LENGTHS: 3BR-9 @ 45' = 405 LF (390 LF REQUIRED) 4BR-12 @ 45' = 540 LF (520 LF REQUIRED)FILL REQUIRED: SHALLOW TRENCH SYSTEM (SEE DETAILS)DOSING REQUIRED FOR 4 BEDROOM HOME SEE SIPHON CHAMBER DETAILS	<p><u>SEPTIC DESIGN CRITERIA:</u></p> <ol style="list-style-type: none">NO. OF BEDROOMS-4 MAX.SEPTIC TANK DESIGN-1250STABILIZED PERCOLATION RATE-28 MINUTES /INCHFLOW RATE (GALS /DAY)-520DESIGN LENGTHS: 3BR-6 @ 55' = 330 LF. (325 LF REQUIRED) 4BR-8 @ 55' = 440 LF. (433 LF REQUIRED)FILL REQUIRED: SHALLOW TRENCH SYSTEM (SEE DETAILS)CURTAIN DRAIN REQUIRED	<p><u>SEPTIC DESIGN CRITERIA:</u></p> <ol style="list-style-type: none">NO. OF BEDROOMS-4 MAX.SEPTIC TANK DESIGN-1250STABILIZED PERCOLATION RATE-30 MINUTES /INCHFLOW RATE (GALS /DAY)-520DESIGN LENGTHS: 3BR-8 @ 53' = 424 LF (325LF REQ'D) 4BR-10 @ 53' = 530 LF (433LF REQ'D)FILL REQUIRED: SHALLOW TRENCH SYSTEM (SEE DETAILS)DOSING REQUIRED FOR 4 BEDROOM HOME SEE SIPHON CHAMBER DETAILSCURTAIN DRAIN REQUIRED																																																																																																																																																																																																																																																																													
4 BEDROOM SYSTEM PLAN VIEW			 <table><thead><tr><th>REV.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th><th>REV.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr></thead><tbody><tr><td>6</td><td>08/31/06</td><td>J.D.C.</td><td>FOR TOWN AND DEC SUBMISSION</td><td>11</td><td>02/02/09</td><td>R.B.M.</td><td>REVISED PER SURVEYOR</td></tr><tr><td>5</td><td>06/14/06</td><td>J.D.C.</td><td>ADDED EXISTING SEPTIC ON LOT # 4</td><td>10</td><td>10/23/07</td><td>J.D.E.</td><td>PLANNING BOARD RESUBMISSION</td></tr><tr><td>4</td><td>04/25/08</td><td>K.R.M.</td><td>PER TOWN ENGINEER'S COMMENTS</td><td>9</td><td>10/03/07</td><td>J.D.E.</td><td>PER DEC COMMENTS</td></tr><tr><td>3</td><td>04/08/06</td><td>J.J.C.</td><td>UNLIMENSIONED TO ACCESSORY STRUCTURE</td><td>8</td><td>03/28/07</td><td>J.J.C.</td><td>RELOCATED LOT # 1 DRIVEWAY</td></tr><tr><td>2</td><td>02/02/06</td><td>J.J.C.</td><td>PER TOWN ENGINEER'S COMMENTS</td><td>7</td><td>03/01/07</td><td>J.J.C.</td><td>PER DEC COMMENTS</td></tr><tr><td>1</td><td>07/16/05</td><td>J.J.C.</td><td>REVISED PER RETESTING FOR S.D.S.'S</td><td></td><td></td><td></td><td></td></tr></tbody></table>	REV.	DATE	BY	DESCRIPTION	REV.	DATE	BY	DESCRIPTION	6	08/31/06	J.D.C.	FOR TOWN AND DEC SUBMISSION	11	02/02/09	R.B.M.	REVISED PER SURVEYOR	5	06/14/06	J.D.C.	ADDED EXISTING SEPTIC ON LOT # 4	10	10/23/07	J.D.E.	PLANNING BOARD RESUBMISSION	4	04/25/08	K.R.M.	PER TOWN ENGINEER'S COMMENTS	9	10/03/07	J.D.E.	PER DEC COMMENTS	3	04/08/06	J.J.C.	UNLIMENSIONED TO ACCESSORY STRUCTURE	8	03/28/07	J.J.C.	RELOCATED LOT # 1 DRIVEWAY	2	02/02/06	J.J.C.	PER TOWN ENGINEER'S COMMENTS	7	03/01/07	J.J.C.	PER DEC COMMENTS	1	07/16/05	J.J.C.	REVISED PER RETESTING FOR S.D.S.'S																																																																																																																																																																																																																									
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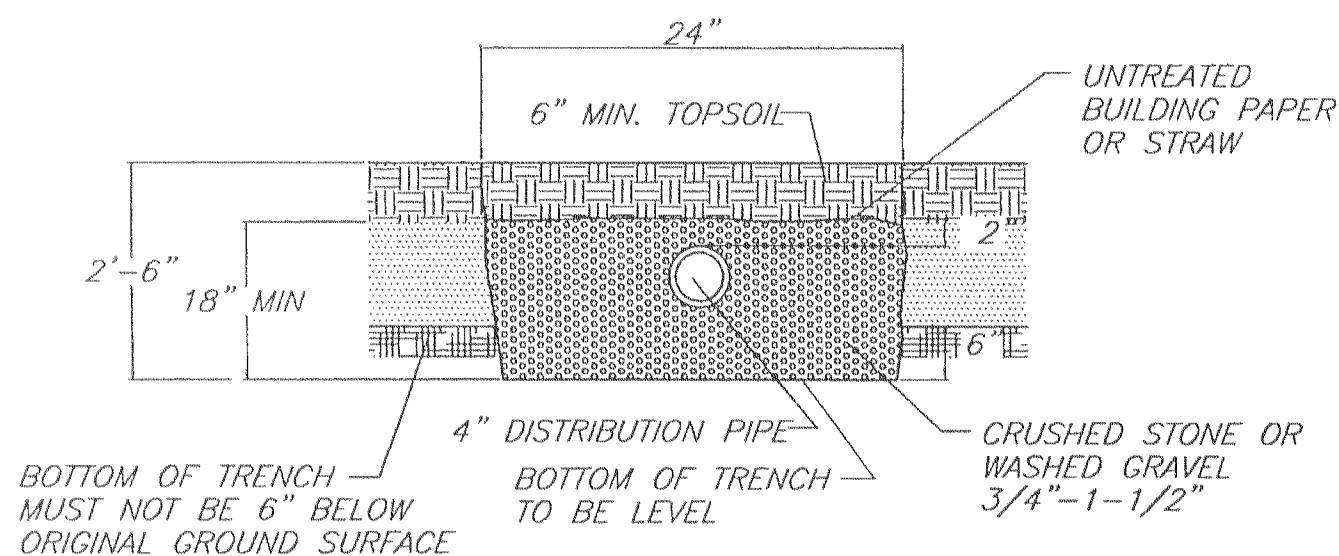
TYPICAL PLAN VIEW



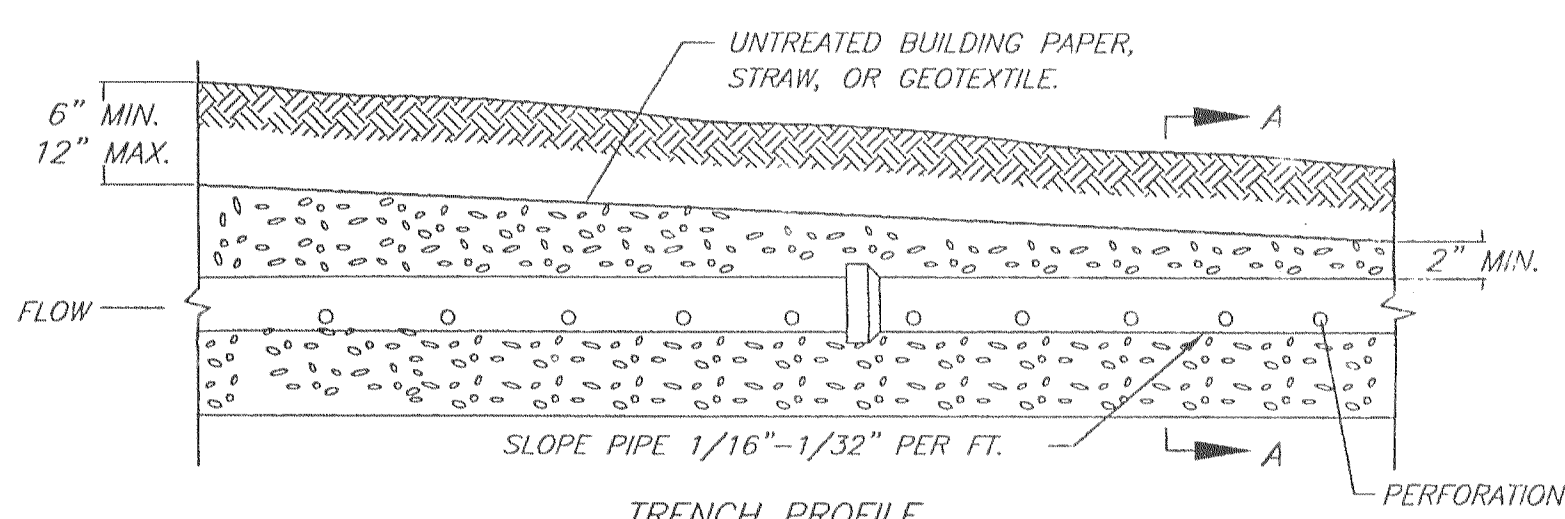
CURTAIN DRAIN
N.T.S.



SHALLOW SYSTEM DETAIL
N.T.S.

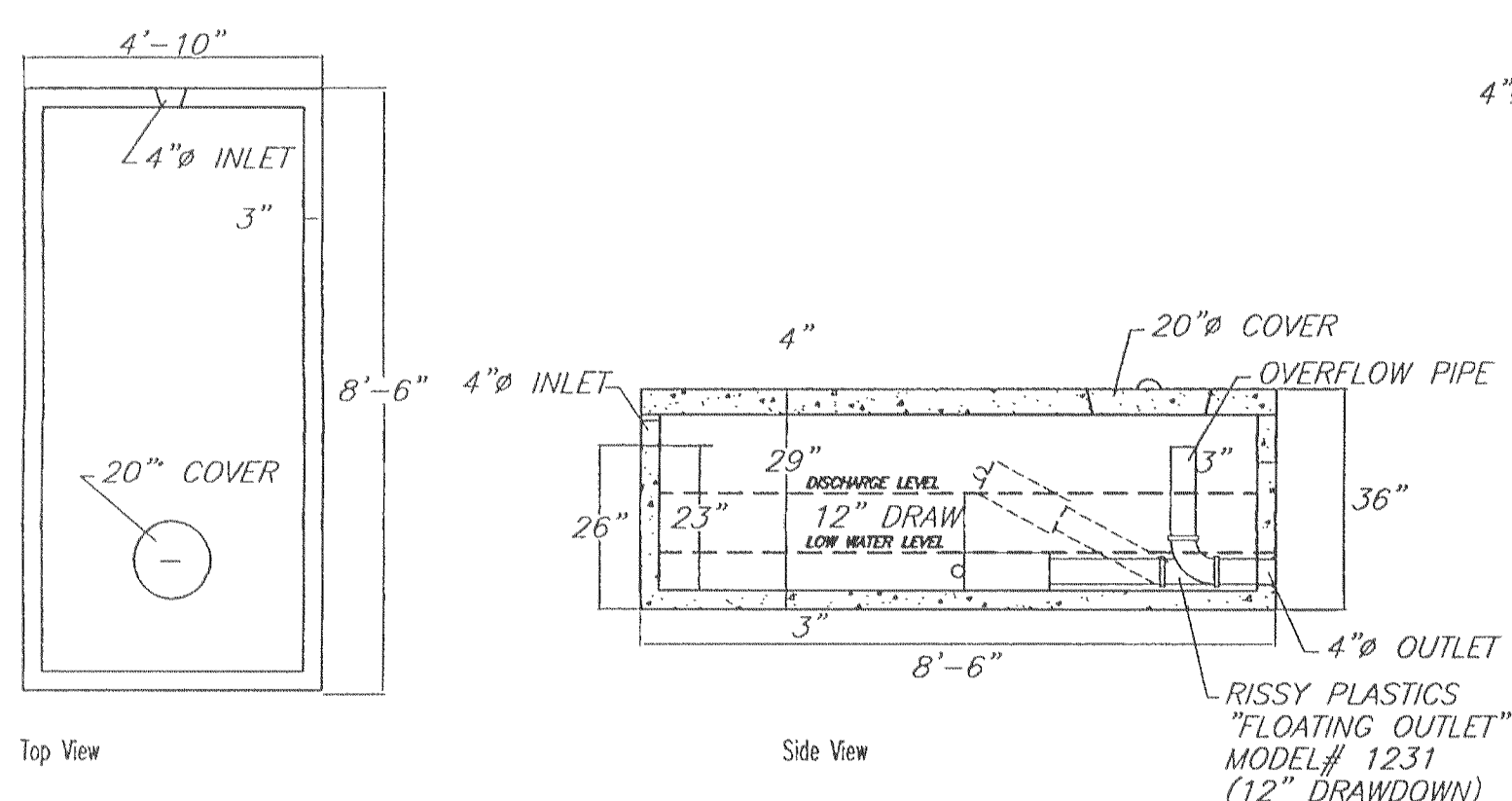


SHALLOW SYSTEM TRENCH DETAIL
N.T.S.



NOTES
DO NOT INSTALL TRENCHES IN WET SOIL.
RAKE SIDES AND BOTTOM OF TRENCH PRIOR TO PLACING GRAVEL.
END OF ALL DISTRIBUTION PIPES MUST BE PLUGGED UNLESS INTERCONNECTED.
BOTTOM OF TRENCH TO BE LEVEL

ABSORPTION TRENCH DETAIL
N.T.S.



WOODWARD'S PRECAST SIPHON CHAMBER (MODEL SC-5X9)
REQUIRED FOR LOT # 1 AND LOT # 3 FOUR BEDROOM

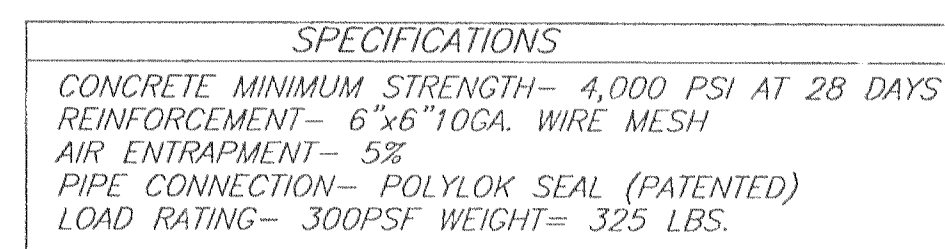
N.T.S.

STORAGE CALCULATION

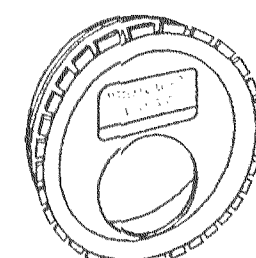
$$4'-4" \times 8'-0" \times 7.48 \text{ gal/cf} \times 1' 1/2" = 21.60 \text{ gal/in}$$

LOT #	LENGTH OF LATERALS (L.F.)	75% VOLUME OF LATERALS (GALS)	DRAWDOWN REQ'D (IN)	SIPHON MODEL #
1	540	264.47	12	1231
3	530	259.57	12	1231

WOODWARD'S 12 OUTLET DISTRIBUTION BOX OR EQUAL
N.T.S.



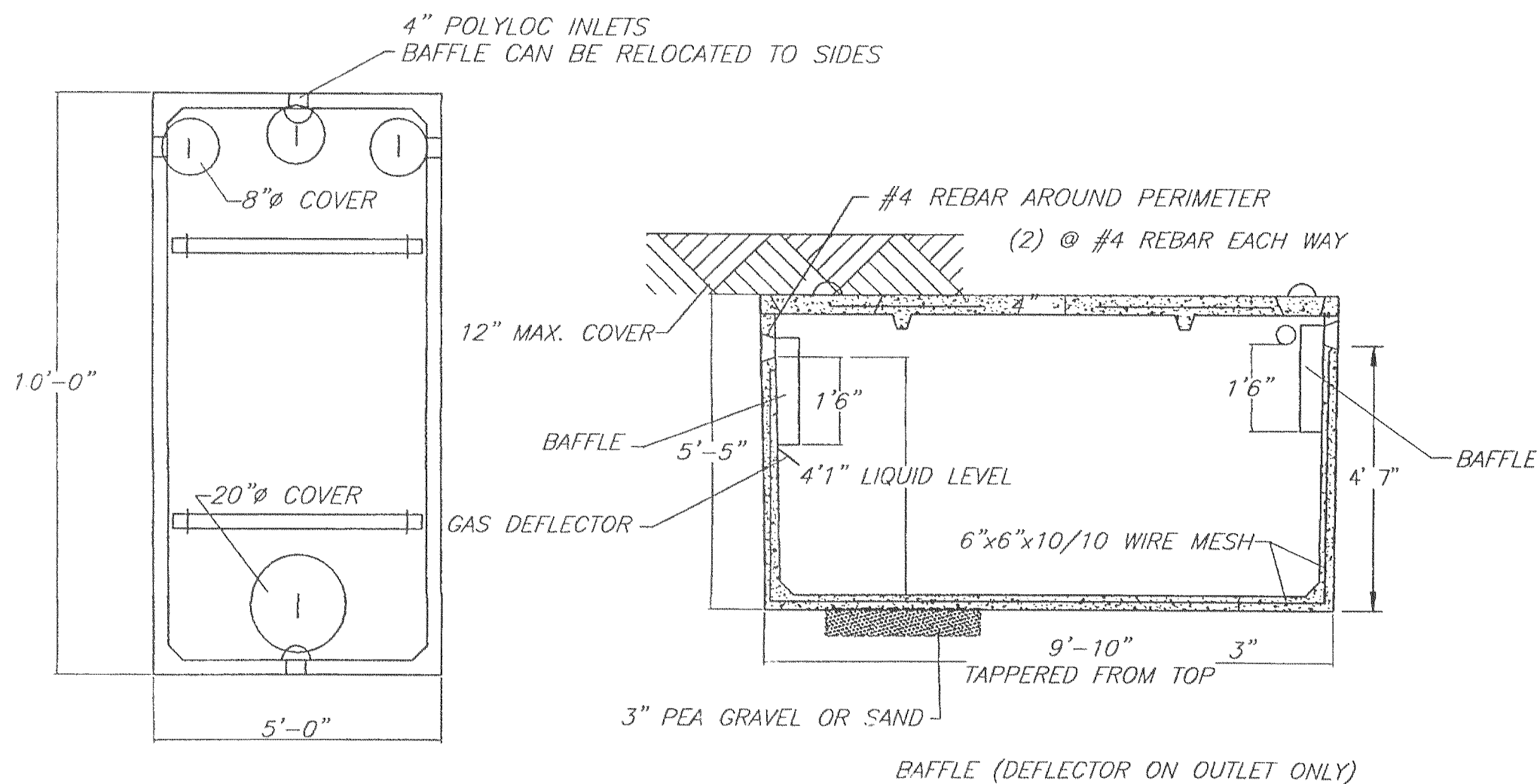
SPECIFICATIONS
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
REINFORCEMENT- 6"x6" 10GA. WIRE MESH
AIR ENTRAPMENT- 5%
PIPE CONNECTION- POLYLOK SEAL (PATENTED)
LOAD RATING- 300PSF WEIGHT= 325 LBS.



1. INSERT A SPEED LEVELER IN THE END OF ALL OUTLET PIPES IN THE DISTRIBUTION BOX.
2. ROTATE UNTIL EFFLUENT ENTERS ALL OUTLETS EQUALLY.

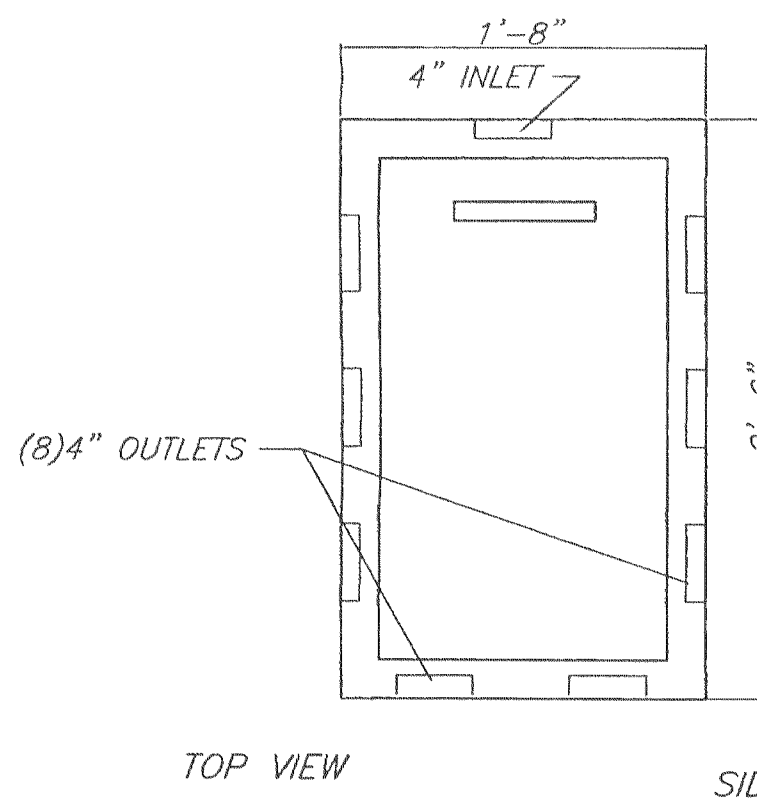
WOODWARD'S SPEED LEVELER FSL-4

N.T.S.



WOODWARD'S 1250gal. SEPTIC TANK OR EQUAL
N.T.S.

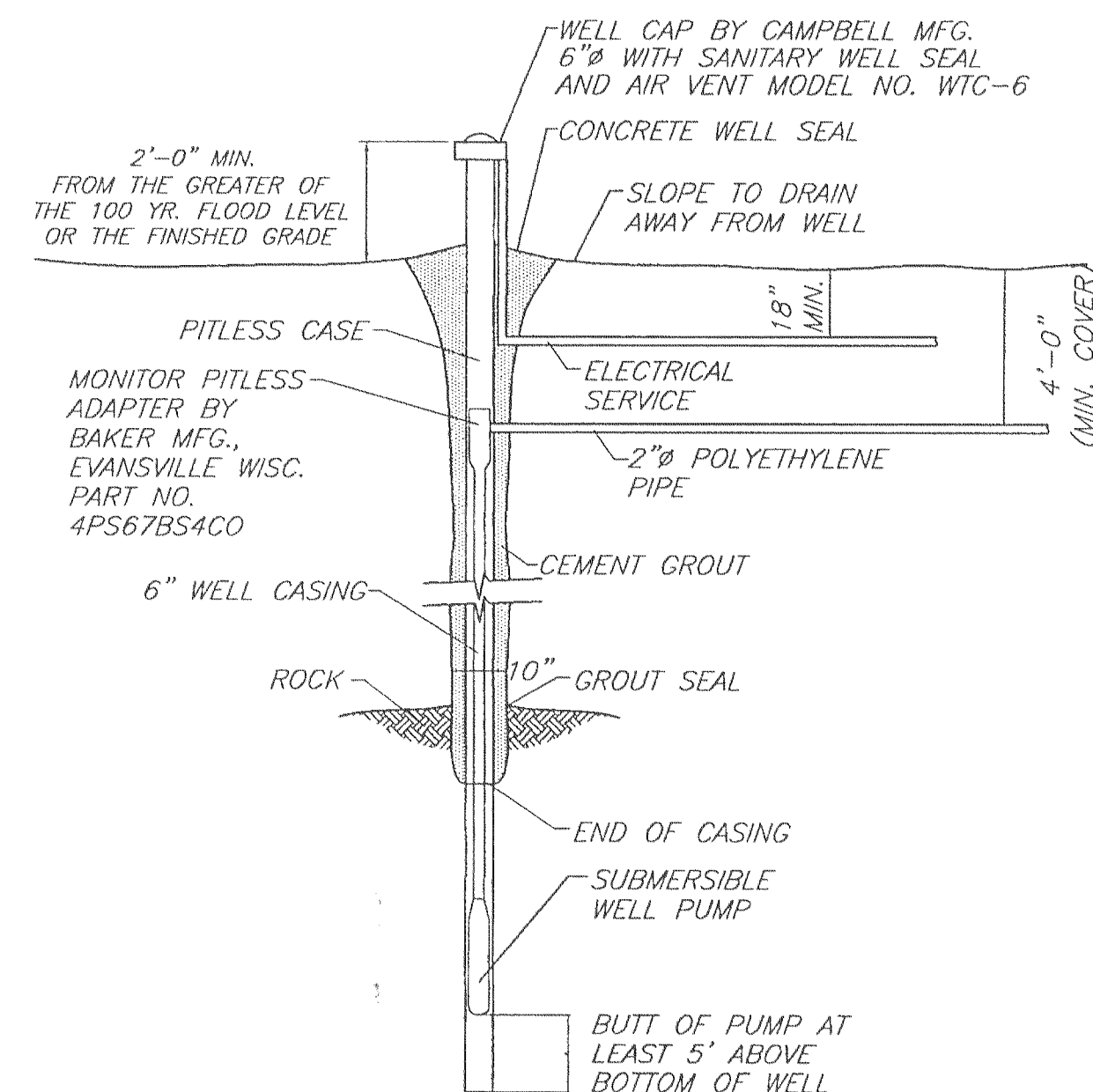
SPECIFICATIONS
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
REINFORCEMENT- 6"x6" 10GA. WWF, #4 REBAR
AIR ENTRAPMENT- 5%
CONSTRUCTION JOINT- BUTYL RUBBER - BASE CEMENT
PIPE CONNECTION- POLYLOK SEAL (PATENTED)
LOAD RATING- 300PSF WEIGHT = 9,500LBS



WOODWARD'S PRECAST 8 OUTLET DISTRIBUTION BOX
N.T.S.

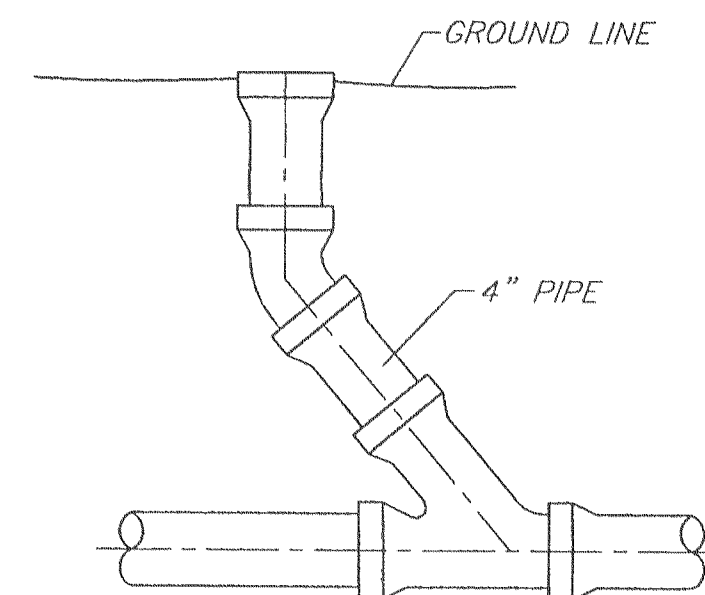
SPECIFICATIONS
CONCRETE MINIMUM STRENGTH- 4,000 PSI AT 28 DAYS
REINFORCEMENT- FIBER
AIR ENTRAPMENT- 5%
PIPE CONNECTION: POLYLOK SEAL (PATENTED)
LOAD RATING- 300 PSF WEIGHT= 290 lbs

REV.	DATE	BY	DESCRIPTION
12	02/02/09	R.B.M.	REVISED PER SURVEYOR
11	10/23/07	T.D.E.	PLANNING BOARD RESUBMISSION
10	10/03/07	T.D.E.	PER DEC COMMENTS
9	03/28/07	J.J.C.	RELOCATED LOT # 1 DRIVEWAY
8	03/01/07	J.J.C.	PER DEC COMMENTS
7	08/15/06	T.D.E.	FOR TOWN AND DEC SUBMISSION
6	08/14/06	T.D.E.	ADDED EXISTING SEPTIC ON LOT # 4
5	04/25/06	K.R.M.	PER TOWN ENGINEER'S COMMENTS
4	04/05/06	J.J.C.	DIMENSIONED TO ACCESSORY STRUCTURE
3	02/02/06	J.J.C.	PER TOWN ENGINEER'S COMMENTS
2	12/19/05	J.J.C.	REVISED PER RETESTING FOR S.D.S.'S
1	07/16/05	J.J.C.	REVISED PER RETESTING FOR S.D.S.'S



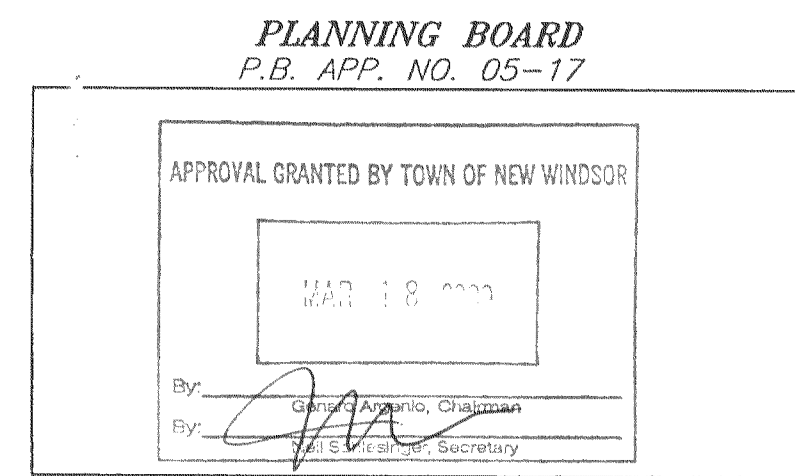
TYPICAL WELL DETAIL
N.T.S.

- WELL NOTES:
1. CASING DEPTH SHALL EXTEND AT LEAST 40' BELOW GROUND IN ANY CONDITION
 2. WELL TO BE INSTALLED PER 10NYCRR PART 5, APPENDIX 5-B "STANDARDS FOR WATER WELLS" NOV. 2005 EDITION
 3. WELL SHALL HAVE A MIN. YIELD OF 5 GPM.
 4. WELL CASING MATERIAL IS TO BE IN COMPLIANCE WITH AWWA STANDARD A-100, LATEST VERSION.



CLEANOUT DETAIL
N.T.S.

TO BE INSTALLED BEFORE BEND AT ALL BEND LOCATIONS AND AT EVERY 75' OF STRAIGHT PIPE. (DO NOT USED WITH PUMP CHAMBER)



THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

TACONIC DESIGN ENGINEERING, PLLC
SUITE 201
3125 ROUTE 9W
NEW WINDSOR, N.Y. 12553
(845)-569-8400
(FAX)(845)-569-4583

ENGINEER

CHARLES T. BROWN, P.E.
P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

SEPTIC DETAILS
4 LOT SUBDIVISION FOR:
MANGIARACINA
122 TOLEMAN ROAD (S/B/L: 56-1-56)
TOWN OF NEW WINDSOR, ORANGE COUNTY, NY

DATE: 6/17/04
SCALE: AS NOTED
JOB NUMBER: 04066-MGA
SHEET NUMBER: 4 OF 7

CONSTRUCTION SEQUENCE

1. STAKEOUT DRIVEWAY, HOUSE, WELL, AND SEPTIC.
2. INSTALL TEMPORARY EROSION CONTROL DEVICES AND STABILIZED CONSTRUCTION ENTRANCE.
3. CLEAR BUILDING AREA AND STOCKPILE SOIL.
4. CONSTRUCT, HOUSE, WELL, AND SEPTIC AS REQUIRED.
5. FINE GRADE SITE AND SEED UNPAVED AREAS.
6. REVEGETATE 100' ADJACENT AREA AS SPECIFIED.
7. COMPLETE CONSTRUCTION.
8. REMOVE TEMPORARY EROSION CONTROL DEVICES.

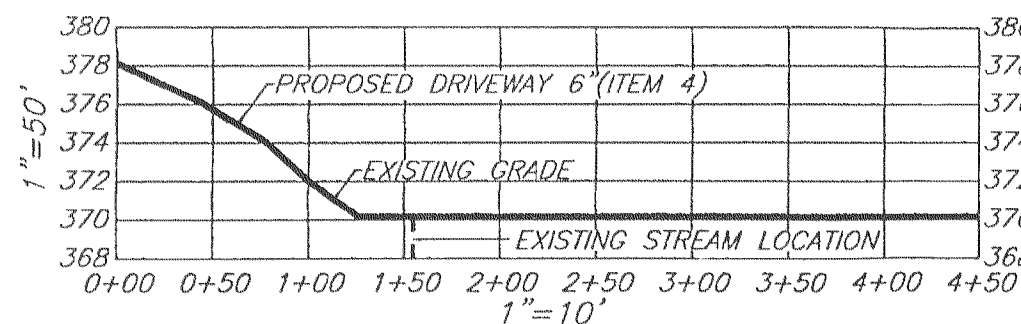
NOTE: ROLL OFF DUMPSTERS AND TRASH RECEPTACLES ARE TO REMAIN ON SITE FOR THE DURATION OF THE PROJECT FOR THE PROPER COLLECTION AND DISPOSAL OF ALL CONSTRUCTION DEBRIS AND ADDITIONAL LITTER PRODUCED BY WORKERS.

TEMPORARY VEGETATION NOTES

- TEMPORARY VEGETATION SHALL BE USED TO PROTECT AREAS IN EXCESS OF 1/2 AC. EXPOSED FOR A PERIOD OVER (2) WEEKS BEFORE OR DURING DEVELOPMENT.
- A. (50) LBS. OF NITROGEN, (50) POUNDS OF APPROVED GRAIN SEED AND (2) TONS OF HAY MULCH PER ACRE OR
 - B. ON AREAS THAT WILL BE EXPOSED FOR SHORT PERIODS OF TIME AND WHERE WEATHER CONDITIONS ARE CONDUCTIVE TO AIRBOURNE SAND, TRAPS TO CONTROL SUCH SAND SHALL BE INSTALLED AS DIRECTED.
 - C. ON AREAS SUCH AS TEMPORARY ROADWAYS, WHEN DRY CONDITIONS PREVAIL, THE CONTRACTOR SHALL BE REQUIRED TO APPLY WATER OR CALCIUM CHLORIDE AS REQUIRED TO PREVENT DUST DURING CONSTRUCTION ACTIVITIES.

EROSION CONTROL STANDARD NOTES

1. EXCAVATION, FILLING, GRADING AND STRIPPING SHALL BE PERMITTED TO BE UNDERTAKEN ON Y IN SUCH LOCATIONS AND IN SUCH A MANNER AS TO MINIMIZE THE POTENTIAL OF EROSION AND SEDIMENT AND THE THREAT TO THE HEALTH, SAFETY AND WELFARE OF NEIGHBORING PROPERTY OWNERS AND THE GENERAL PUBLIC.
2. SITE PREPARATION AND CONSTRUCTION SHALL BE FITTED TO THE VEGETATION, TOPOGRAPHY AND OTHER NATURAL FEATURES OF THE SITE AND SHALL PRESERVE AS MANY OF THESE FEATURES AS FEASIBLE.
3. THE CONTROL OF EROSION AND SEDIMENT SHALL BE A CONTINUOUS PROCESS UNDERTAKEN AS NECESSARY PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION.
4. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED BY SITE PREPARATION AT ANY GIVEN TIME.
5. THE EXPOSURE OF AREAS BY SITE PREPARATION SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME PRIOR TO THE CONSTRUCTION OF STRUCTURES OR IMPROVEMENTS OR THE RESTORATION OF THE EXPOSED AREAS TO AN ATTRACTIVE NATURAL CONDITION.
6. MULCHING OR TEMPORARY VEGETATION SUITABLE TO THE SITE SHALL BE USED WHERE NECESSARY TO PROTECT AREAS EXPOSED BY SITE PREPARATION, AND PERMANENT VEGETATION WHICH IS WELL ADAPTED TO THE SITE SHALL BE INSTALLED AS SOON AS PRACTICAL.
7. WHERE SLOPES ARE TO BE REVEGETATED IN AREAS EXPOSED BY SITE PREPARATION, THE SLOPES SHALL NOT BE OF SUCH STEEPNESS THAT VEGETATION CANNOT BE READILY ESTABLISHED OR THAT PROBLEMS OF EROSION OR SEDIMENT MAY RESULT.
8. SITE PREPARATION AND CONSTRUCTION SHALL NOT ADVERSELY AFFECT THE FREE FLOW OF WATER BY ENCROACHING ON, BLOCKING OR RESTRICTING WATERCOURSES.
9. ALL FILL MATERIAL SHALL BE COMPOSITION SUITABLE FOR THE ULTIMATE USE OF THE FILL, FREE OF RUBBISH AND CAREFULLY RESTRICTED IN ITS CONTENT OF BRUSH, STUMPS, TREE DEBRIS, ROCKS, FROZEN MATERIAL AND SOFT OR EASILY COMPRESSIBLE MATERIAL.
10. FILL MATERIAL SHALL BE COMPACTED SUFFICIENTLY TO PREVENT PROBLEMS OF EROSION, AND WHERE THE MATERIAL IS TO SUPPORT STRUCTURES, IT SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF STANDARD PROCTOR WITH PROPER MOISTURE CONTROL.
11. ALL TOPSOIL WHICH IS EXCAVATED FROM A SITE SHALL BE STOCKPILED AND USED FOR THE RESTORATION OF THE SITE, AND SUCH STOCKPILES, WHERE NECESSARY, SHALL BE SEED OR OTHERWISE TREATED TO MINIMIZE THE EFFECTS OF EROSION.
12. PRIOR TO, DURING AND AFTER SITE PREPARATION AND CONSTRUCTION, AN INTEGRATED DRAINAGE SYSTEM SHALL BE PROVIDED WHICH AT ALL TIMES MINIMIZES EROSION, SEDIMENT, HAZARDS OF SLOPE INSTABILITY AND ADVERSE EFFECT ON NEIGHBORING PROPERTY OWNERS.
13. THE NATURAL DRAINAGE SYSTEM SHALL GENERALLY BE PRESERVED IN PREFERENCE TO MODIFICATIONS OF THIS SYSTEM, EXCEPTING WHERE SUCH MODIFICATIONS ARE NECESSARY TO REDUCE LEVELS OF EROSION AND SEDIMENT AND ADVERSE EFFECTS ON NEIGHBORING PROPERTY OWNERS.
14. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO HANDLE ADEQUATELY ANTICIPATED FLOWS, BOTH WITHIN THE SITE AND FROM THE ENTIRE UPSTREAM DRAINAGE BASIN.
15. SUFFICIENT GRADES AND DRAINAGE FACILITIES SHALL BE PROVIDED TO PREVENT THE PONDING OF WATER, UNLESS SUCH PONDING IS PROPOSED WITHIN SITE PLANS, IN WHICH EVENT THERE SHALL BE SUFFICIENT WATER FLOW TO MAINTAIN PROPOSED WATER LEVELS AND TO AVOID STAGNATION.
16. THERE SHALL BE PROVIDED WHERE NECESSARY TO MINIMIZE EROSION AND SEDIMENT SUCH MEASURES AS BENCHES, BERMS, TERRACES, DIVERSIONS AND SEDIMENT, DEBRIS AND RETENTION BASINS.
17. DRAINAGE SYSTEMS, PLANTINGS AND OTHER EROSION OR SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AS FREQUENTLY AS NECESSARY TO PROVIDE ADEQUATE PROTECTION AGAINST EROSION AND SEDIMENT AND TO ENSURE THAT THE FREE FLOW OF WATER IS NOT OBSTRUCTED BY THE ACCUMULATION OF SILT, DEBRIS OR OTHER MATERIAL OR BY STRUCTURAL DAMAGE.



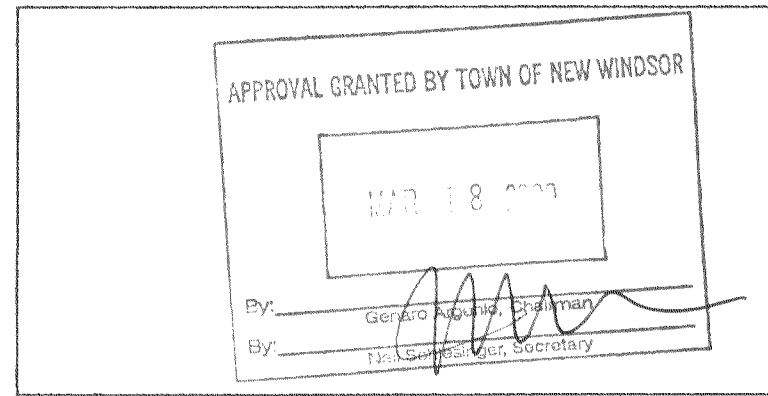
LOT #1 WETLAND DRIVEWAY PROFILE (THROUGH WETLAND)

NOTES: PROPOSED GRAVEL DRIVEWAY SHALL FOLLOW EXISTING GRADES, WHICH DO NOT EXCEED 10%.

N/F WOROSCHINSKI
56-1-22.32
L.11518 P.1891

PLANNING BOARD

P.B. APP. NO. 05-17



THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET

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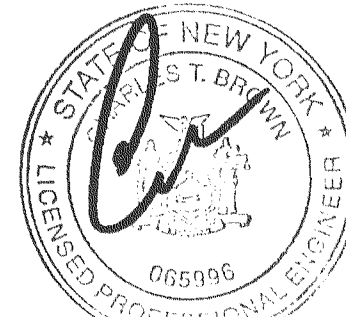
EROSION AND SEDIMENTATION CONTROL PLAN

4 LOT SUBDIVISION SKETCH PLAN FOR:
MANGIARACINA

122 TOLEMAN ROAD (S/B/L: 56-1-56)

TOWN OF NEW WINDSOR, ORANGE COUNTY, NY

DATE: 8/28/06 SCALE: 1"=100' JOB NUMBER: 04066-MGA SHEET NUMBER: 5 OF 7



REVISIONS			
REV.	DATE:	BY:	DESCRIPTION:
7	02/02/09	R.B.M.	REVISED PER SURVEYOR
6	06/04/08	R.B.M.	PER D.E.C. 04/07/08 COMMENTS
5	10/23/07	T.D.E.	PLANNING BOARD RESUBMISSION
4	10/03/07	T.D.E.	PER DEC COMMENTS
3	03/28/07	J.J.C.	RELOCATED LOT # 1 DRIVEWAY
2	03/01/07	J.J.C.	PER DEC COMMENTS
1	08/31/06	T.D.C.	FOR TOWN AND DEC SUBMISSION

DISTURBED 100' ADJACENT AREA PLANTING AND SEEDING NOTES
THE 100' ADJACENT AREA SHALL BE PLANTED WITH 1 OF THE FOLLOWING NATIVE WOODY SPECIES EVERY 100 SQ. FT. INCLUDING:
PIN OAK (QUERCUS PLASTER), RED MAPLE (ACER RUBRUM), WINTERBERRY (ILEX VERTICILLATA), SILKY DOGWOOD (CORNUS AMOMUM), ARROWWOOD (VIBURNUM LANTANA), SWEET ELM (ULMUS RUBRA), GREY-STEMMED DOGWOOD (CORNUS RACEMOSA), SPICEBUSH (LINDERA BENZONIA), AND HIGH BUSH BLUEBERRY (VACCINIUM CORYMBOSUM).
EXPOSED AREAS AROUND THE PLANTED TREES AND SHRUBS SHALL BE SEEDING WITH "J&J WET MEADOW MIX" OBTAINED FROM J&J TRANSPLANT AQUATIC NURSERY, LLC, PO BOX 227, WILD ROSE, WISCONSIN 54984, TELEPHONE (800)622-5055. THE MIX IS TO BE APPLIED AT A RATE OF FOUR (4) POUNDS PER ACRE, EACH POUND (16oz.) CONTAINS THE (OR EQUAL) FOLLOWING SPECIES:

1/2 oz. CAREX SCOPARIA 1/2 oz. JUNCUS EFFUSUS 1/2 oz. ASCLEPIAS INCARNATA
1 oz. CAREX VULPINOIDEA 1 oz. GLYCERIA STRATA 1 oz. VERGECIA HASTATA
1 oz. CAREX BEBBI 1 oz. GLYCERIA GRANDIS 1 oz. GALAMAGROSTIS CANADENSIS
1 oz. CAREX SIPHULICA 1/2 oz. SCIRPUS CYPERINUS 1/2 oz. LOBELIA SIPHULICA
1 oz. CAREX HYSTERICINA 1/2 oz. SCIRPUS ATROVIRENS 1/2 oz. SPARTINA PECTINATA
1/2 oz. CAREX CRISTATELLA 1/2 oz. IRIS VERSICOLOR 1/2 oz. EUPATORIUM MACULATUM
1/2 oz. ANGELICA ATRORRHIZA

THE 100-ADJACENT AREA SHALL BE PLANTED WITH J&J PREMIUM PERENNIAL MIX OBTAINED FROM J&J TRANSPLANT AQUATIC NURSERY, OR EQUIVALENT WILDFLOWER MIX. THE MIX IS TO BE APPLIED AT A RATE OF 1lb./100square feet. THIS SEED MIX CONTAINS THE FOLLOWING SPECIES:

PINK OAK (QUERCUS PALUSTRIS)
RED MAPLE (ACER RUBRUM)
GREY-STEMMED (CORNUS RACEMOSA)
HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)
ARROWWOOD (VIBURNUM LANTANA)

PROPERTY LINE EXISTING
PROPERTY LINE PROPOSED
PROPERTY LINE ADJOINING
SETBACKS

STATE WETLAND BOUNDARY

FEDERAL WETLAND BOUNDARY

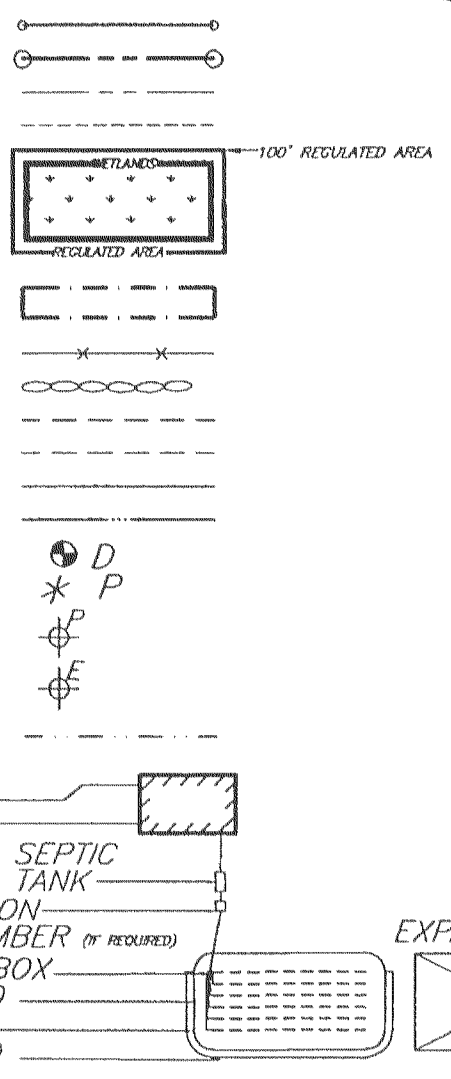
FENCE
STONE WALL
CONTOURS 10' ft
CONTOURS 2' ft
CONTOURS PROPOSED
WATER
DEEP TEST
PERCOLATION TEST
WELL PROPOSED
WELL EXISTING
AT&T EASEMENT

PROPOSED SINGLE FAMILY
RESIDENCE W/DRIVEWAY

TREE PROPOSED
SILT FENCE
PERIMETER DIKE AND
SEDIMENT TRAP (TEMPORARY)

SOIL STOCKPILE

STABILIZED CONSTRUCTION ENTRANCE



0 50 100 200
SCALE: " = 100'

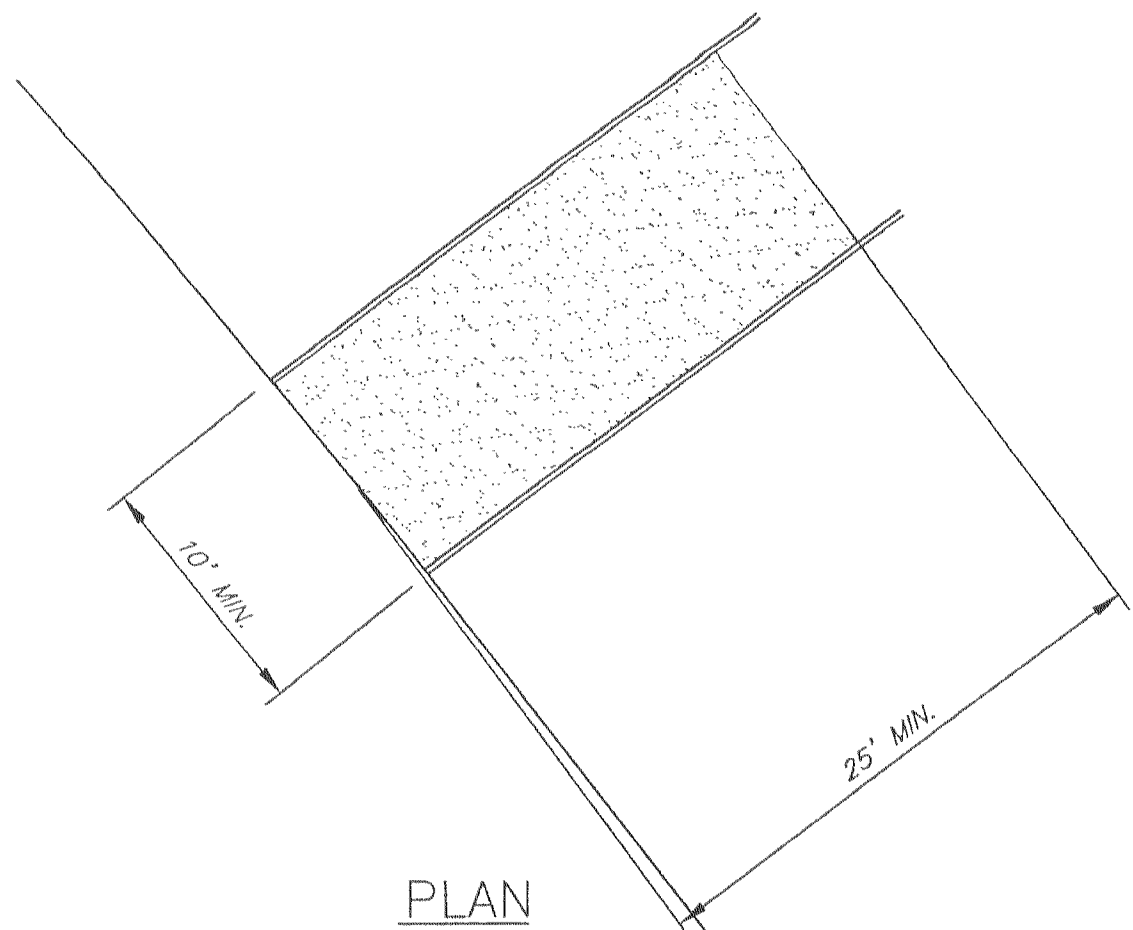
FEDERAL WETLAND
DISTURBANCE / FILL LOT #3 FILED MAP 36-99
1,111.63 s.f.
TOTAL WETLAND FILL/DISTURBANCE:
2,361.91 s.f.
(INCLUDING DISTURBANCE PER
PREVIOUS SUBDIVISION F.M.#425-03)

DISTURBED 100' ADJACENT AREA PLANTING AND SEEDING NOTES
THE 100' ADJACENT AREA SHALL BE PLANTED WITH 1 OF THE FOLLOWING NATIVE WOODY SPECIES EVERY 100 SQ. FT. INCLUDING:
PIN OAK (QUERCUS PLASTER), RED MAPLE (ACER RUBRUM), WINTERBERRY (ILEX VERTICILLATA), SILKY DOGWOOD (CORNUS AMOMUM), ARROWWOOD (VIBURNUM LANTANA), SWEET ELM (ULMUS RUBRA), GREY-STEMMED DOGWOOD (CORNUS RACEMOSA), SPICEBUSH (LINDERA BENZONIA), AND HIGH BUSH BLUEBERRY (VACCINIUM CORYMBOSUM).
EXPOSED AREAS AROUND THE PLANTED TREES AND SHRUBS SHALL BE SEEDING WITH "J&J WET MEADOW MIX" OBTAINED FROM J&J TRANSPLANT AQUATIC NURSERY, LLC, PO BOX 227, WILD ROSE, WISCONSIN 54984, TELEPHONE (800)622-5055. THE MIX IS TO BE APPLIED AT A RATE OF FOUR (4) POUNDS PER ACRE, EACH POUND (16oz.) CONTAINS THE (OR EQUAL) FOLLOWING SPECIES:

1/2 oz. CAREX SCOPARIA 1/2 oz. JUNCUS EFFUSUS 1/2 oz. ASCLEPIAS INCARNATA
1 oz. CAREX VULPINOIDEA 1 oz. GLYCERIA STRATA 1 oz. VERGECIA HASTATA
1 oz. CAREX BEBBI 1 oz. GLYCERIA GRANDIS 1 oz. GALAMAGROSTIS CANADENSIS
1 oz. CAREX SIPHULICA 1/2 oz. SCIRPUS CYPERINUS 1/2 oz. LOBELIA SIPHULICA
1 oz. CAREX HYSTERICINA 1/2 oz. SCIRPUS ATROVIRENS 1/2 oz. SPARTINA PECTINATA
1/2 oz. CAREX CRISTATELLA 1/2 oz. IRIS VERSICOLOR 1/2 oz. EUPATORIUM MACULATUM
1/2 oz. ANGELICA ATRORRHIZA

THE 100-ADJACENT AREA SHALL BE PLANTED WITH J&J PREMIUM PERENNIAL MIX OBTAINED FROM J&J TRANSPLANT AQUATIC NURSERY, OR EQUIVALENT WILDFLOWER MIX. THE MIX IS TO BE APPLIED AT A RATE OF 1lb./100square feet. THIS SEED MIX CONTAINS THE FOLLOWING SPECIES:

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GREY-STEMMED (CORNUS RACEMOSA)
HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)
ARROWWOOD (VIBURNUM LANTANA)

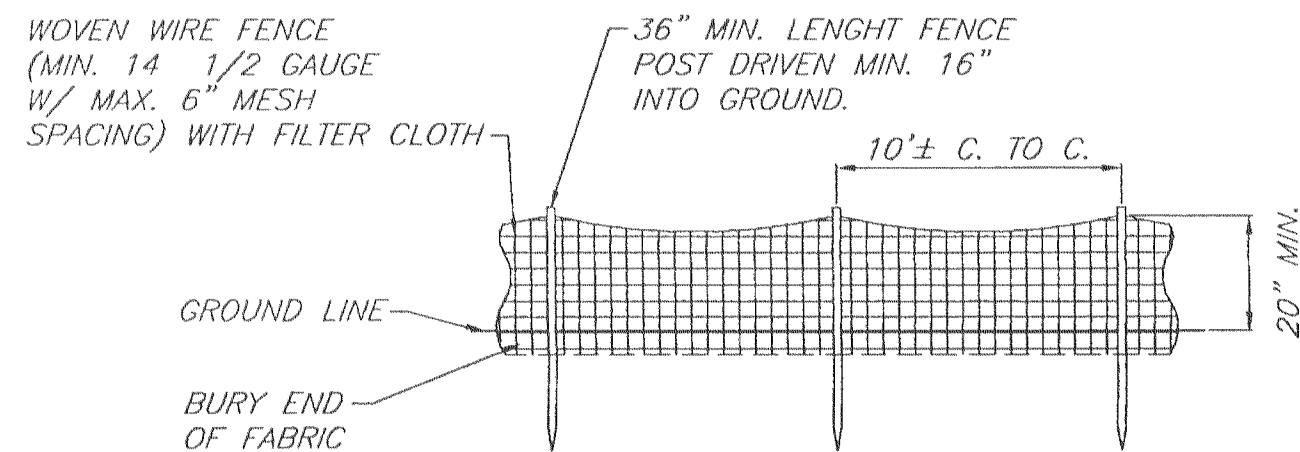


PLAN

- NOTES: 1. STONE SIZE SHALL BE 2" OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 20 FEET.
3. THICKNESS - 6 INCHES.
4. WIDTH - SEE PLAN ABOVE
5. FILTER CLOTH - CONTECH "TREVIRA SPUNBOND" GEOTEXTILE, OR EQUAL WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

DRIVEWAY STABILIZED CONSTRUCTION ENTRANCE

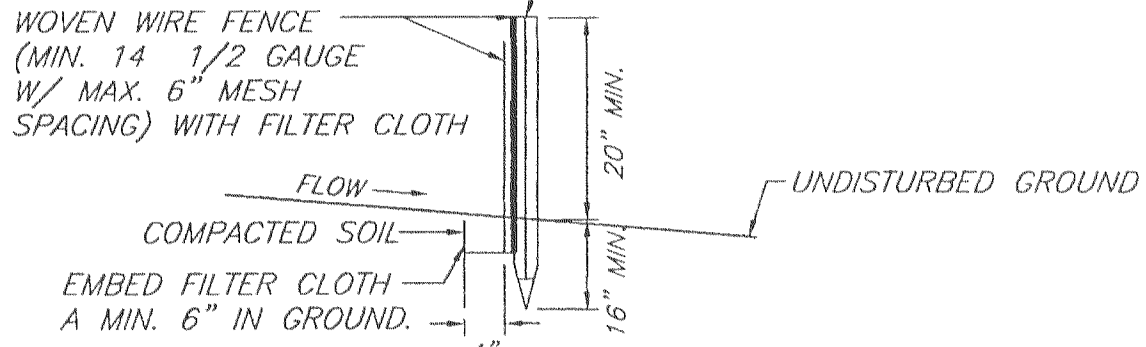
N.T.S.



SILT FENCE DETAIL

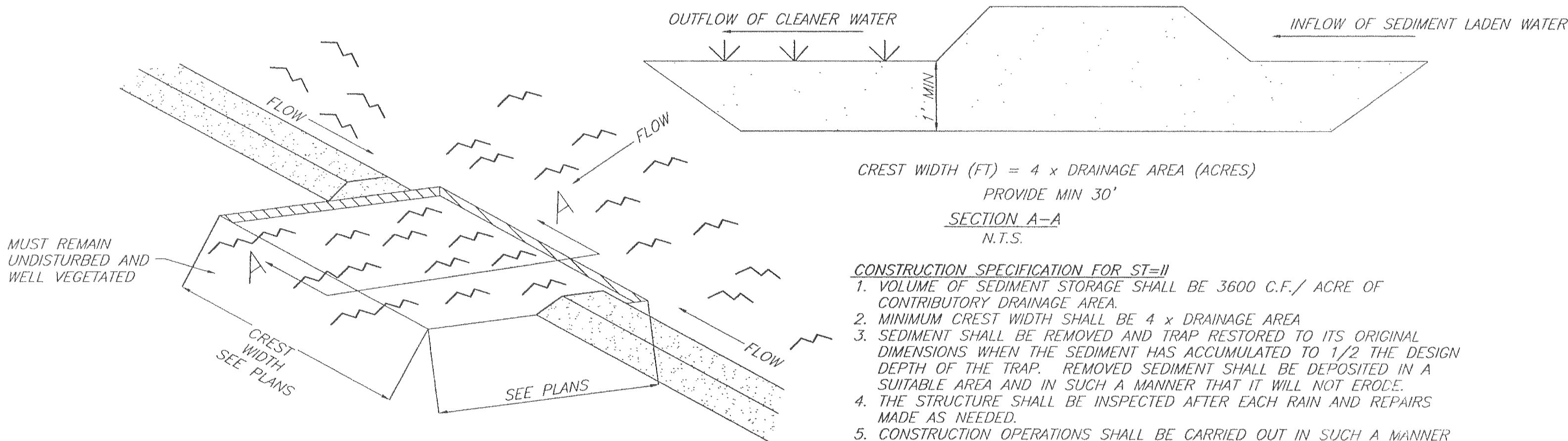
N.T.S.

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INITIALIZE EROSION CONTROL MEASURES. SILT FENCES ARE TO BE USED FOR SITUATION CONTROL AROUND ALL AREAS THAT WILL BE DISRUPTED DURING CONSTRUCTION. SILT FENCES ARE TO BE MAINTAINED TO THE SATISFACTION OF THE ENGINEER AND WILL BE REMOVED BY THE CONTRACTOR ONCE GROUND COVER IS REESTABLISHED.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES OR SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



NOTE: SILT FENCES ARE TO BE INSTALLED PRIOR TO ANY CONSTRUCTION AND SHALL BE CHECKED AFTER EVERY RAIN STORM. SILT FENCES ARE TO BE REPLACED AS NECESSARY DUE TO DAMAGE OR WHEN FILLED WITH SILT. SILT TO BE REMOVED IN FRONT OF FENCES REGULARLY TO PREVENT EXCESSIVE SOIL BEARING WEIGHT ON THE SILT FENCES.

DIKE IF REQUIRED TO DIVERT WATER INTO TRAP

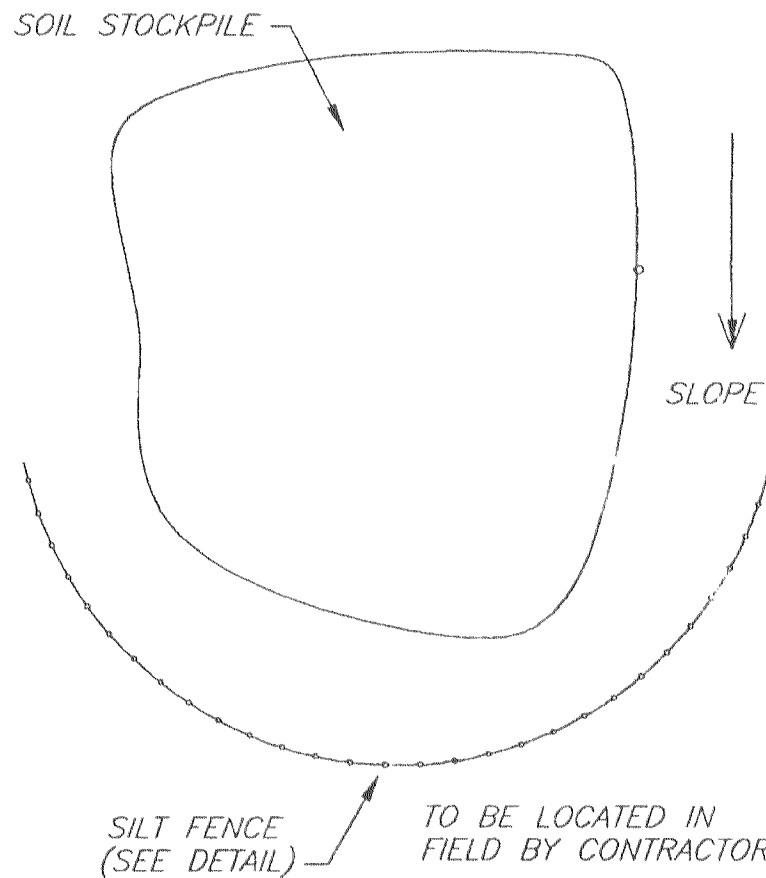


EXCAVATED GRASS OUTLET SEDIMENT TRAP

N.T.S.

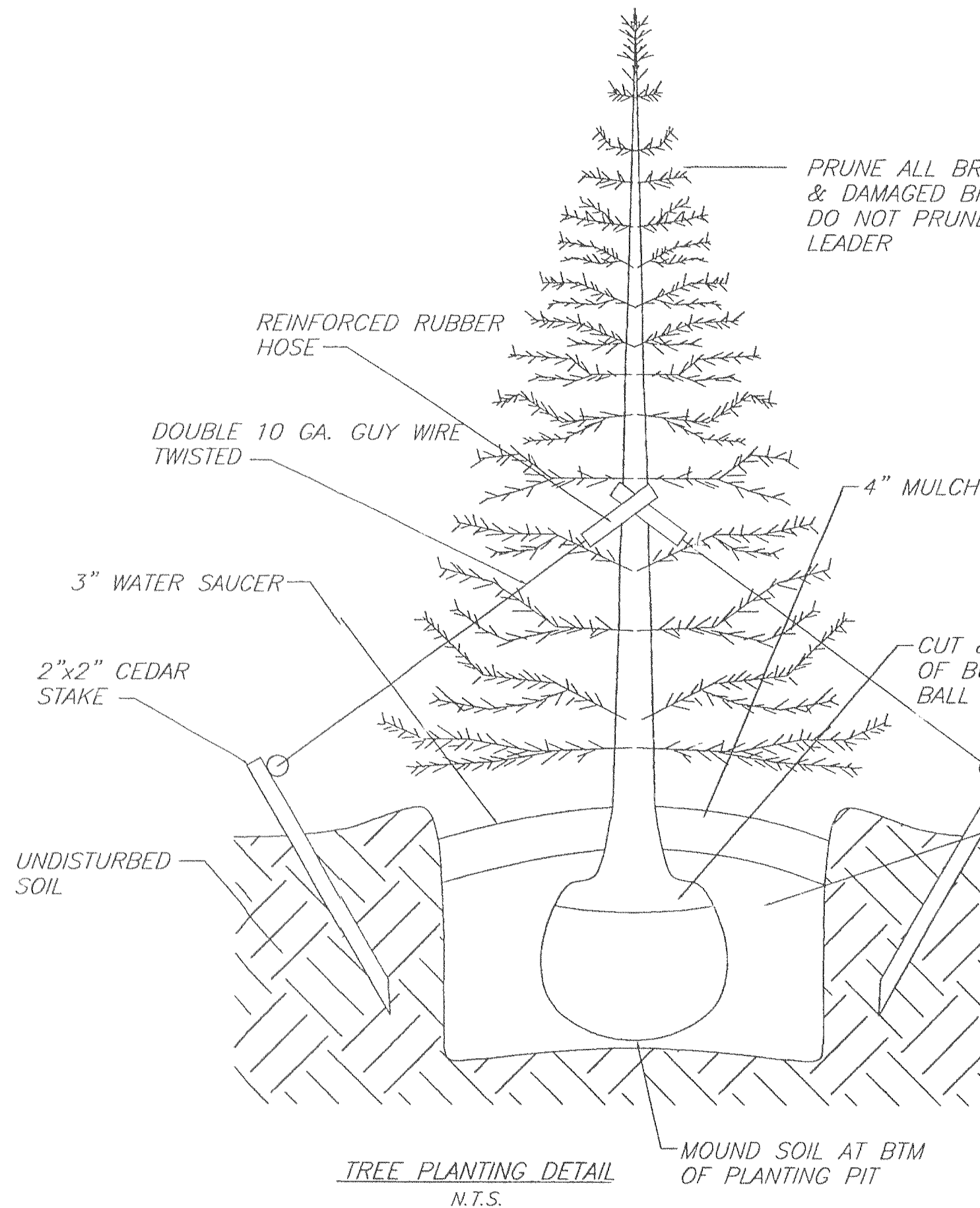
CALL BEFORE YOU DIG... IT'S THE LAW

WHETHER YOU'RE LAYING A FOUNDATION FOR A BUILDING OR PLANTING A TREE, YOU MUST FIRST CHECK FOR THE EXISTENCE OF UNDERGROUND UTILITY LINES AND CABLES. IF YOU OR YOUR CONTRACTOR DISRUPT ANY OF THESE LINES, THE RESULTS CAN BE DANGEROUS - AND COSTLY - TO EVERYONE. CALL BEFORE YOU DIG, TOLL FREE, 1-800-272-4480 (IN NEW YORK CITY AND LONG ISLAND) OR 1-800-926-7962 (IN ALL OTHER AREAS OF THE STATE.)



SOIL STOCKPILE DETAIL

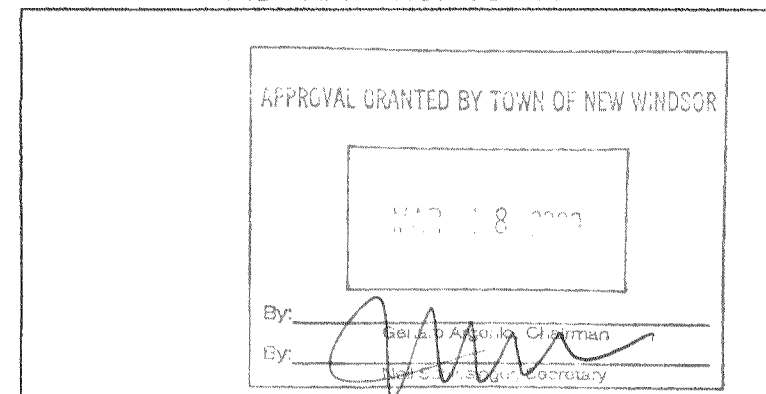
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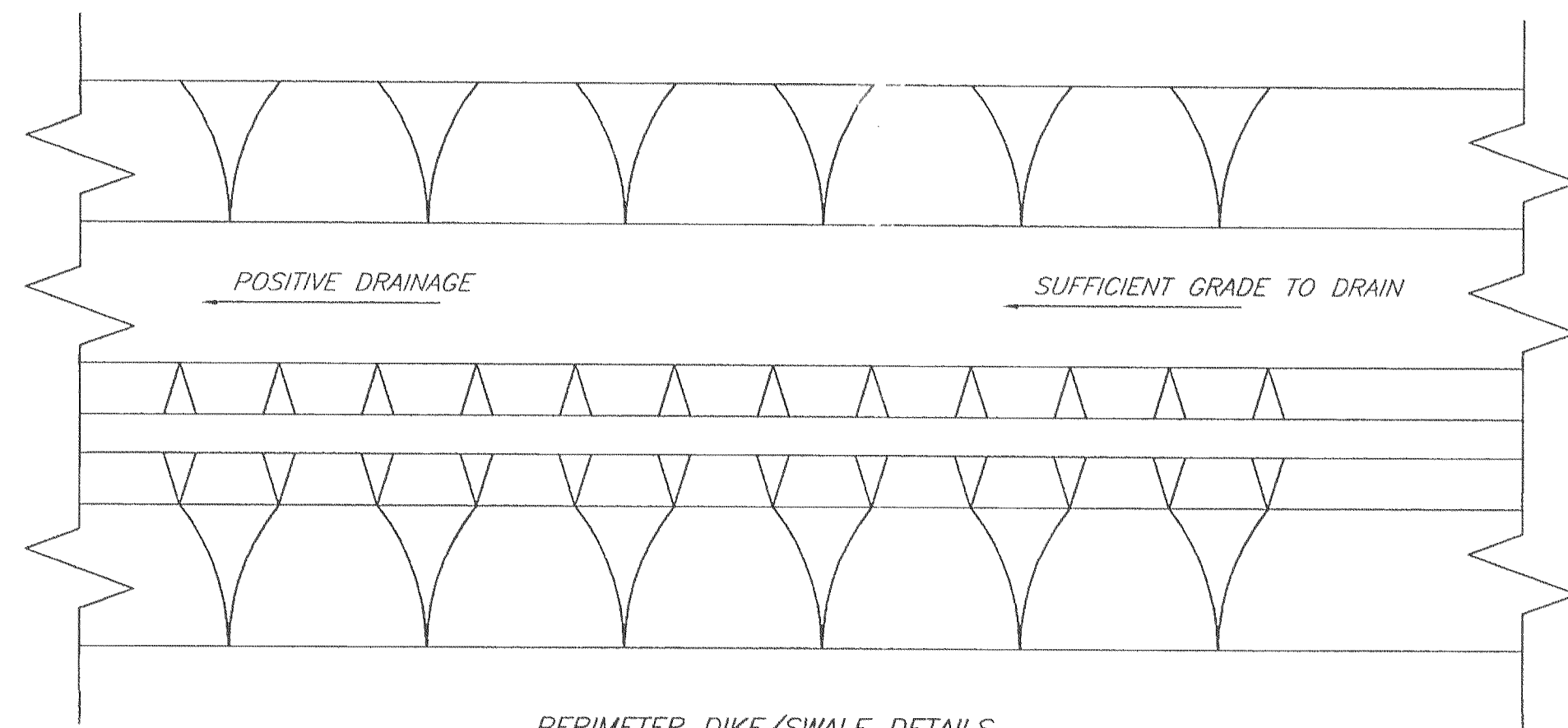
TREE PLANTING DETAIL

N.T.S.

PLANNING BOARD
P.B. APP. NO. 05-17



REVISIONS			
REV.	DATE	BY	DESCRIPTION
6	02/02/09	R.B.M.	REVISED PER SURVEYOR
5	10/23/07	T.D.E.	PLANNING BOARD RESUBMISSION
4	10/03/07	T.D.E.	PER DEC COMMENTS
3	03/28/07	T.D.C.	RELOCATED LOT # 1 DRIVEWAY
2	03/01/07	T.D.C.	PER DEC COMMENTS
1	08/31/06	T.D.C.	FOR TOWN AND DEC SUBMISSION



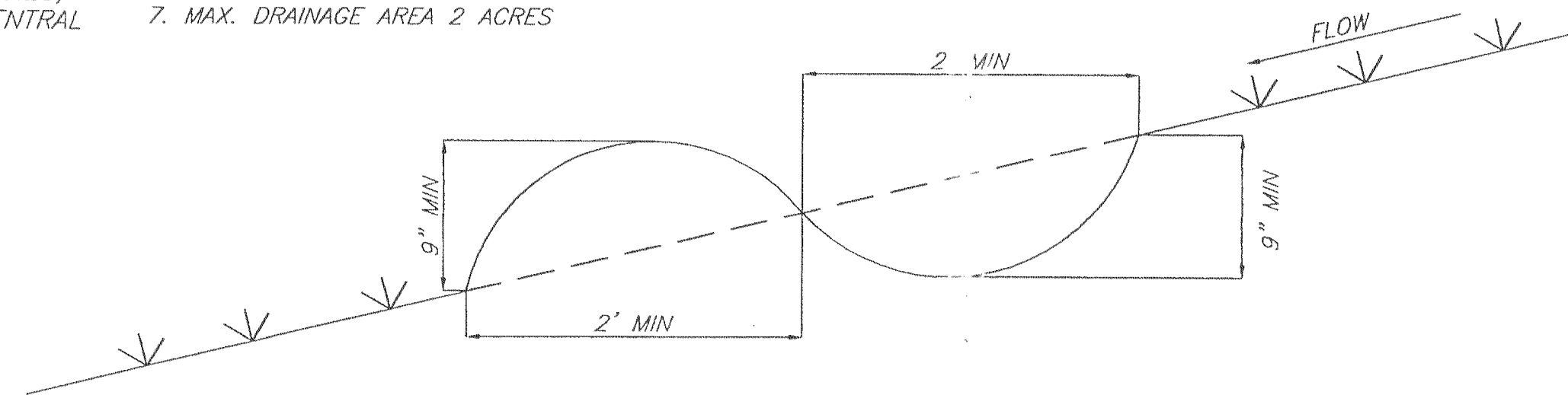
PERIMETER DIKE/SWALE DETAILS

PLAN VIEW

N.T.S.

CONSTRUCTION SPECIFICATIONS

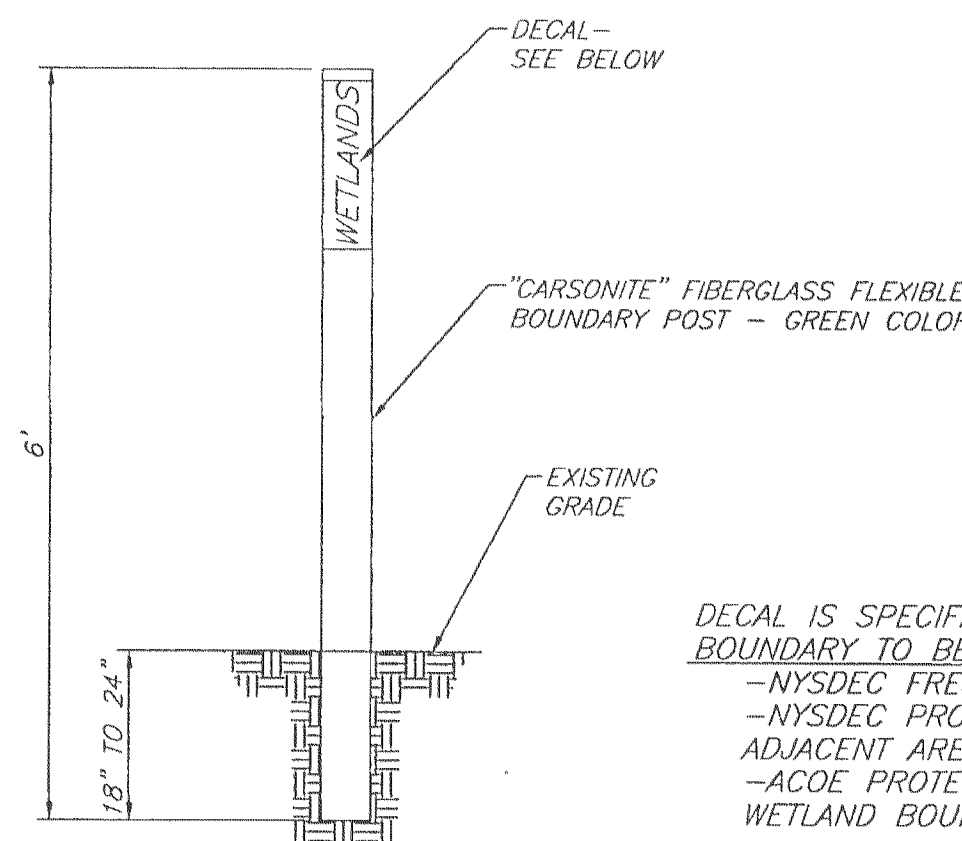
- ALL PERIMETER DIKE/SWALE SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT NON-EROSION VELOCITY.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE GRADE TO MEET THE SPECIFIED STANDARD.
- STABILIZATION OF THE AREA DISTURBED BY THE DIKE AND SWALE SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SEED AND STRAW MULCH, AND SHALL BE DONE WITHIN 10 DAYS.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- MAX. DRAINAGE AREA 2 ACRES



PERIMETER DIKE/SWALE DETAILS

CROSS SECTION

N.T.S.



NOTES: MARKERS SHALL BE PLACED AT A MINIMUM OF EVERY 50 FEET AND AT ALL BREAK POINTS ALONG THE 100 FOOT WETLAND ADJACENT AREA BOUNDARY.

WETLAND MARKER DETAIL

N.T.S.

THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN THE SET

**TACONIC DESIGN
ENGINEERING, PLLC**

SUITE 201
3125 ROUTE 9W
NEW WINDSOR, N.Y. 12553
(845)-569-8400
(FAX)(845)-569-4583

ENGINEER

CHARLES T. BROWN, P.E.

P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

PLANTING AND EROSION & SEDIMENTATION NOTES AND DETAILS

4 LOT SUBDIVISION SKETCH PLAN FOR:

MANGIARACINA

122 TOLEMAN ROAD (S/B/L: 56-1-56)

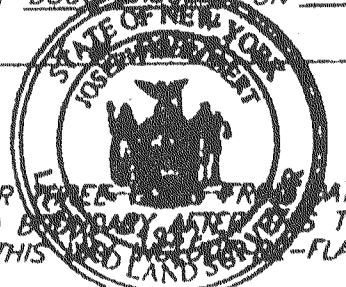
TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK

DATE: 8/28/06 SCALE: AS NOTED JOB NUMBER: 04066-MGA SHEET NUMBER: 6 OF 7

NYSDEC FRESHWATER WETLAND BOUNDARY VALIDATION

THE FRESHWATER WETLAND BOUNDARY AS REPRESENTED ON THESE PLANS ACCURATELY DEPICTS THE LIMITS OF FRESHWATER WETLAND MB-28 AS DELINEATED BY DOUGLAS GANGLER ON MAY 1, 2003

DEC STAFF: Douglas Gangler SURVEYOR: Douglas Gangler
DATE: 7/4/03 SEAL:



WETLAND BOUNDARY AS VALIDATED BY DEC REMAINS VALID FOR THREE YEARS FROM DATE OF FLAGGING OR REVALIDATION. FOR OFFICIAL USE OF THE WETLAND BOUNDARY AFTER THIS THREE YEAR PERIOD, THE BOUNDARY MUST BE REVALIDATED BY DEC STAFF. THIS PLAN IS FOR FLAGGING AND SURVEY OF THE WETLAND BOUNDARY IF CHANGES ARE NOTED.

ANY PROPOSED CONSTRUCTION, GRADING, FILLING, EXCAVATING, CLEARING OR OTHER REGULATED ACTIVITY IN THE FRESHWATER WETLAND OR WITHIN 100 FEET OF THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN REQUIRES A PERMIT FROM THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION UNDER ARTICLE 24 OF THE ENVIRONMENTAL CONSERVATION LAW (FRESHWATER WETLANDS ACT) PRIOR TO COMMENCEMENT OF WORK.

MAP REFERENCES:

1. "SURVEY & MINOR SUBDIVISION—LANDS OF JACK & JOANNE MANGIARACINA, 122 TOLEMAN ROAD, TOWN OF NEW WIND. JR, NY" DATED AUGUST 11, 1998, FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON DEC. 3, 1998 AS MAP NO. 236-98.
2. AERIAL TOPOGRAPHY PROVIDED BY ROBINSON AERIAL SURVEYS, INC., FLOWN 4/15/96, GROUND CONTROL SURVEY PROVIDED BY JM ROBERT, PLS, COMPLETED 6/10/2002.
3. MAP ENTITLED 2 LOT SUBDIVISION FOR MANGIARACINA, FILED IN THE ORANGE COUNTY CLERK'S OFFICE, ON 9/10/03 AS FM# 425-03

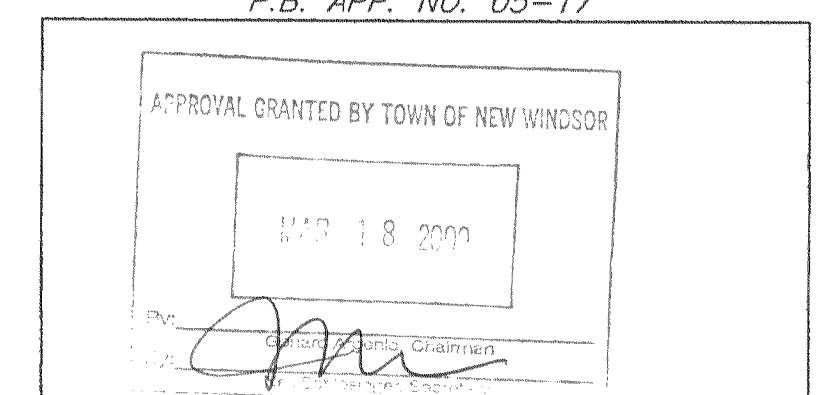
LOT INFORMATION

TAX MAP # 56-1-56
LOT SIZE 32.65± ACRES
SCHOOL DISTRICT WASHINGTONVILLE
OWNER & APPLICANT
JOAN MANGIARACINA
156 TOLEMAN RD.
WASHINGTONVILLE, NY 10992

REPRODUCTIONS OF THIS MAP ARE VALID ONLY IF THEY BEAR THE IMPRESSION SEAL OF THE PROFESSIONAL WHOSE SIGNATURE APPEARS HEREON.

UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW

PLANNING BOARD
P.B. APP. NO. 05-17



THIS SHEET IS INVALID AND VOID UNLESS ACCOMPANIED BY REMAINING SHEETS IN SET.

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ENGINEER

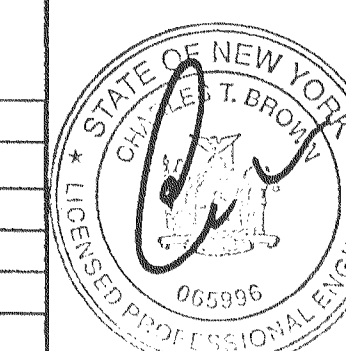
CHARLES T. BROWN, P.E.

P.O. BOX 4470
NEW WINDSOR, N.Y. 12553

WETLAND DELINEATION 4 LOT SUBDIVISION SKETCH PLAN FOR: MANGIARACINA

122 TOLEMAN ROAD (S/B/L: 56-1-56)
TOWN OF NEW WINDSOR, ORANGE COUNTY, NY

DATE 03/01/07 SCALE 1"=100' JOB NUMBER 04066-MCA SHEET NUMBER 7 OF 7



REVISIONS

REV.	DATE	BY	DESCRIPTION
1	07/16/05	J.J.C.	REVISED PER RETESTING FOR S.D.S.'S
2	03/28/07	J.J.C.	RELOCATED LOT # 1 DRIVEWAY
3	10/03/07	J.J.C.	PER DEC COMMENTS
3	10/23/07	T.D.E.	PLANNING BOARD RESUBMISSION
4	02/02/09	R.B.M.	REVISED PER SURVEYOR

LEGEND

PROPERTY LINE EXISTING
PROPERTY LINE ADJOINING AT&T EASEMENT
STATE WETLAND BOUNDARY
FEDERAL WETLAND BOUNDARY
FENCE
STONE WALL
WATER
WELL EXISTING

0 50 100 200
SCALE: 1" = 100'

